



DEPARTMENT OF PLANNING AND PERMITTING
CITY AND COUNTY OF HONOLULU

650 SOUTH KING STREET \* HONOLULU, HAWAII 96813
Phone: (808) 768-8220 \* Fax: (808) 768-6111

BP 880452
1 permit
64 pages

BUILDING PERMIT

FOR THE PERFORMANCE OF WORK UNDER THE
BUILDING ELECTRICAL, PLUMBING, AND SIDEWALK CODES
CHAPTERS 16, 17, 19, AND 20, RESPECTIVELY, AND UNDER CHAPTER 18
(FEES AND PERMITS) OF THE REVISED ORDINANCES OF
THE CITY AND COUNTY OF HONOLULU

LOCATION

Table with 4 columns: Zone (2), Section (2), Plat (047), Parcel (007)

3160 PUU PAKA DR HONOLULU / KAPALAMA 968
272,860 Sq. Ft.

Site Address (if other than primary): 3160 PUU PAKA DR HONOLULU / KAPALAMA 96817

\$7,700.00

PERMIT FEE

Type of Payment(s)

- Cash
Check X
Charge

Accepted Value of Work: \$899,600

PROJECT:

(BP #880452) [TMK: 22047007] [TPR] 3160 Puu Paka Dr. // Shin Residence - New 2-Story SFD. [THIRD PARTY REVIEW]

TYPE OF WORK

Electrical Work Y New Building Y Plumbing Work Y
Solar Y

RIGHT OF WAY WORK

Driveway: New: Existing: X Private:
Sidewalk Types: Curbing Types: Driveway Types:
Linear Ft. of Sidewalk: Linear Ft. of Curbing: Linear Ft. of Driveway:

Please notify the Building Inspector listed below at least 24 hours before starting work in the Right-Of-Way.

GENERAL CONTRACTOR

JCON GENERAL LLC
Contact Info: (808)551-4768
Lic. No.: CT37310

ESCP COORDINATOR

SHIN, BRIAN
Contact Info: (808) 551-4768
Person in charge of construction must contact the ESCP Coordinator to schedule the pre-construction inspections of the BMPs.

NOTES

SWQ Inspection Notes

Contractor informed to maintain all BMP's during construction.

A/C Clauses

New dwellings or major additions, alterations, or repairs which include the installation of heating or air conditioning equipment shall comply with the roof and wall insulation requirements of the revised Ordinances of Honolulu Chapter 16 Building Code, Article 5 Energy Conservation, Section 16-5.3 Exterior Envelope Requirements, Paragraph (c) - Residential Buildings Not More Than Three Stories in Height.

Building Permit Conditions

Electrical plans not checked. Project subject to inspection for code compliance.Plumbing/Mechanical plans not checked. Project subject to inspection for code compliance.

Electrical Clauses

Only 1 meter(s) allowed per legal dwelling unit. No additional meters on property. Repair/replacement only.

Fence Clauses

For the work under this building permit, the City shall not be responsible, or liable for any potential drainage problems resulting from the flow of surface waters, or the alteration or concentration of surface water run-off on any property. It is a civil matter between affected parties.All footings shall rest on firm, stable, undisturbed soil and built entirely within property. For the work under this building permit, the City shall not be responsible, or liable for any potential drainage problems resulting from the flow of surface waters, or the alteration or concentration of surface water run-off on any property. It is a civil matter between affected parties.Gates to swing into property.

Solar Clauses

Panels to be installed per preapproved details. MM# 2020-0040 #of panels 1 tank location. Roof framing is wood construction and the mounting system is a pre-manufactured type.

DATE ISSUED 06/28/2022

Location Permit Issued Kapolei

Permission is hereby given to do above work according to conditions hereon and according to approved plans and specifications pertaining thereto, subject to compliance with ordinances and laws of the City and County of Honolulu and State of Hawaii.

APPLICATION NO.: A2021-11-0066

JobID: 96503297

PERMIT NO.: 880452



DEPARTMENT OF PLANNING AND PERMITTING  
**CITY AND COUNTY OF HONOLULU**

650 SOUTH KING STREET \* HONOLULU, HAWAII 96813  
Phone: (808) 768-8220 \* Fax: (808) 768-6111

# BUILDING PERMIT

FOR THE PERFORMANCE OF WORK UNDER THE  
BUILDING ELECTRICAL, PLUMBING, AND SIDEWALK CODES  
CHAPTERS 16, 17, 19, AND 20, RESPECTIVELY, AND UNDER CHAPTER 18  
(FEES AND PERMITS) OF THE REVISED ORDINANCES OF  
THE CITY AND COUNTY OF HONOLULU

Location Application Created: **Kapolei**

FOR DIRECTOR OF DEPARTMENT OF PLANNING AND PERMITTING

**THIS PERMIT MUST BE POSTED IN A CONSPICUOUS PLACE ON THE SITE DURING THE PROGRESS OF WORK. THIS PERMIT MAY BE REVOKED IF WORK IS NOT STARTED WITHIN 180 DAYS OF DATE OF ISSUANCE OR IF WORK IS SUSPENDED OR ABANDONED FOR 120 DAYS.**

ELECTRICAL AND PLUMBING WORK TO BE DONE BY LICENSED PERSONS AS REQUIRED UNDER CHAPTER 448 E, HAWAII REVISED STATUTES.

NOTICE TO HOMEOWNERS: This is to inform all homeowners that improvements to your home may require approval by your Homeowners Association or authorized representative prior to the commencement of construction.

Approval by the Department of Planning and Permitting does not certify compliance with the Covenants, Conditions and Restrictions or other design restrictions administered and enforced by your Homeowners Association.

ALL CONSTRUCTION UNDER THIS BUILDING PERMIT IS SUBJECT TO INSPECTION BY THE BUILDING OFFICIAL. IT SHALL BE THE DUTY OF THE PERSON DOING THE WORK AUTHORIZED BY THIS PERMIT TO NOTIFY THE BUILDING OFFICIAL THAT THE WORK IS READY FOR INSPECTION.

THE FOLLOWING ARE THE INSPECTORS ASSIGNED TO INSPECT THE CONSTRUCTION UNDER THIS PERMIT AND THEIR TELEPHONE NUMBERS:

	<u>Building Inspector</u>	<u>Electrical Inspector</u>	<u>Plumbing Inspector</u>	<u>Storm Water Quality Inspector</u>
Name	IRINEO PAGAT	CLYDE KISHI	BLAKE ASATO	LEIGHTON-MOSES KAAI
Phone No.	(808) 768-8131	(808) 768-8177	(808) 768-8193	(808) 768-8141

Tax Map Key: 2-2-047:007  
Application Index No: A 2021-11-0066  
Project Name: Shin Residence  
Building Permit No.: 880412

BUILDING DIVISION  
DEPARTMENT OF PLANNING AND PERMITTING

**SUPPLEMENTAL INFORMATION FOR BUILDING OWNER,  
PERMIT APPLICANT AND CONTRACTOR**

The following information should prove helpful in determining whether additional information should be obtained before starting your project

1.  A Phone Call May Save Your Life – if you have underground utilities investigate before you start work

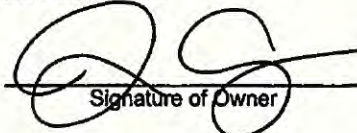
Call: Hawaii One-Call Center 1-866-423-7287 or 811

According to the Hawaii One Call Law (Call Before You Dig) effective January 1, 2006, an excavator is required to call for utility toning at least 5 working days (excluding holidays and weekends) before starting excavation. One call does it all, as all the utility operators who have underground utilities will be notified. You will be required to pre-mark your proposed area of excavation with white paint. For more information: <http://www.callbeforeyoudig.org>

**Be Aware of the Sign, Noise and OSH Regulations**

Sign Regulations - Building Division	768-8220
Noise Regulations - Department of Health	586-4700
Occupational Safety and Health - DOSH	586-9100
Department of Labor	
Asbestos and Lead-Based Paint Regulations	586-5800
Department of Health	

2.  Owners will be responsible to notify the Federal Aviation Administration (FAA) for structures which exceed 200 feet in height above ground line and certain structures within 4 miles from the nearest point of the nearest runway of each airport. (Single-family dwellings exempted.) FAA telephone is 541-1243.
3.  REMINDER - Owners should check their deeds, lease agreements, and/or association by-laws for any building restrictions.
4.  HOUSE NUMBERING REQUIREMENTS - All main entrances to buildings shall be numbered with numbers at least two inches in height. Address signs shall not exceed one square foot. Emergency service agencies such as fire, police, ambulance, etc., can respond more readily with minimum delays when buildings are properly numbered.
5.  To prevent termite entry, the building code requires openings around pipes or other penetrations in concrete slab-on-grade to be filled with non-shrink grout.
6.  Plumbing and / or Electrical plans not checked. Project subject to inspection for code compliance.
7.  Plumbing and / or Electrical work shall be inspected and approved prior to concealment.
8.  PROTECTION OF ADJOINING PROPERTY - The owner and contractor doing the excavation or fill shall be responsible to implement safety measures to protect adjoining properties, streets or natural watercourses from falling rocks, boulders, soil, debris and other dangerous objects.
9.  EROSION AND SEDIMENT CONTROL - Since it is unlawful to discharge pollutants from the construction site, the owner and the contractor shall check the criteria for handling drainage discharges and ensure compliance with all appropriate regulations including Best Management Practices (BMP) requirements for construction sites. Call 768-8218 / 8219, or go to <http://www.honoluluapp.org> for more information.

  
Signature of Owner

6/11/2022  
Date

BP 880452

Department of Planning and Permitting City and County of Honolulu  
THIRD PARTY REVIEW CERTIFICATION FORM

Project title: Dowsett Unit 1 - New SFD  
Building Permit Application No.: A2021-11-0066  
Tax Map Key Number (s): 22047007  
Owner's Name (Print): Jinny Cheung (JC Kai, LLC)  
Signature of Owner: [Signature]

The undersigned hereby certifies that the undersigned is duly qualified and registered with the Department of Planning and Permitting as a Third Party Reviewer as set forth in Sections 20-7-2 through 20-7-6 of the Department of Planning and Permitting's Administrative Rules, and that the undersigned has reviewed the owner's building permit submission, in compliance with applicable permitting requirements, Section 20-7-6 of the Department of Planning and Permitting's Administrative Rules, and that, in the undersigned's professional opinion, the building permit plans submitted by the owner, are in compliance with the codes, ordinances, rules, and other applicable requirements as set forth in Section 20-1-1 of the Department of Planning and Permitting's Administrative Rules.

Building Code of the City and County of Honolulu - Structural:

Name (Print): \_\_\_\_\_  
State Registration Number: \_\_\_\_\_  
Signature: \_\_\_\_\_  
Phone Number: \_\_\_\_\_

Building/Housing Codes of the City and County of Honolulu - Nonstructural:

Name (Print): \_\_\_\_\_  
State Registration Number: \_\_\_\_\_  
Signature: \_\_\_\_\_  
Phone Number: \_\_\_\_\_

Electrical Code of the City and County of Honolulu:

Name (Print): \_\_\_\_\_  
State Registration Number: \_\_\_\_\_  
Signature: \_\_\_\_\_  
Phone Number: \_\_\_\_\_

Mechanical requirements as defined in Section 20-7-2(b), Department of Planning and Permitting's Administrative Rules Relating to Administration of Codes:

Name (Print): \_\_\_\_\_  
State Registration Number: \_\_\_\_\_  
Signature: \_\_\_\_\_  
Phone Number: \_\_\_\_\_

Land Use Ordinance:

Name (Print): \_\_\_\_\_  
State Registration Number: \_\_\_\_\_  
Signature: \_\_\_\_\_  
Phone Number: \_\_\_\_\_

Building Code of the City and County of Honolulu - Residential:

Name (Print): Greg Quinn  
State Registration Number: AR-7731  
Signature: [Signature]  
Phone Number: 8086208021

BP: 880452

**Statement of Acknowledgement of Special Inspections**

Project: 3160 Puu Paka Project

BPA: A2021-11-0066

Per 2012 International Building Code (IBC) Section 1702.2.2 and 2012 International Residential Code (IRC) Section R109.6 Access for Special Inspection.

The construction or work for which special inspection is required shall remain accessible and exposed for special inspection purposes until completion of the required special inspection.

ACKNOWLEDGMENT / AWARENESS OF SPECIAL INSPECTION – THE CONSTRUCTION TO BE MADE ACCESSIBLE TO THE SPECIAL INSPECTION INSPECTORS.

Jinny Cheung  
Print (Owner's Name)

  
\_\_\_\_\_  
Signature (Owner's Name)

JCON General, LLC  
Print (Contractor's Name)

  
\_\_\_\_\_  
Signature (Contractor's Name)

CITY AND COUNTY OF HONOLULU  
DEPARTMENT OF PLANNING AND PERMITTING  
**APPROVED**

The issuance of this permit is based on the information provided by the applicant and does not constitute a warranty or representation of any kind by the City and County of Honolulu. The applicant is responsible for obtaining all necessary permits from other agencies and for obtaining all necessary approvals from the appropriate agencies. The applicant is also responsible for obtaining all necessary approvals from the appropriate agencies.

PERMIT NUMBER: 1912021  
APPROVED DATE: 05/15/2022

BY: EneSha Cabana

**GENERAL NOTES**

- THE CONTRACTOR SHALL BE RESPONSIBLE TO EXAMINE THE PROJECT SITE AND VERIFY ALL CONDITIONS PRIOR TO SUBMITTING HIS PROPOSAL. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT FOR CLARIFICATION.
- CONTRACTOR SHALL APPLY, OBTAIN AND PAY FOR ANY PERMITS REQUIRED.
- CONTRACTOR SHALL SUBMIT TO THE OWNER A MATERIAL AND LABOR PAYMENT AND PERFORMANCE BOND IN THE AMOUNT OF THE CONTRACT BIDD.
- CONTRACTOR SHALL SUBMIT A CERTIFICATE OF INSURANCE COVERING LIABILITY AND PROPERTY DAMAGE, THE OWNER SHALL BE INCLUDED AS ADDITIONAL INSURED.
- THE OWNER WILL PROVIDE THE INSURANCE.
- IF APPLICABLE, CONTRACTOR SHALL MAKE ARRANGEMENTS FOR TEMPORARY WATER AND ELECTRICAL SERVICES AND PAY FOR SUCH SERVICES DURING CONSTRUCTION.
- IF APPLICABLE, CONTRACTOR SHALL PROVIDE AND MAINTAIN A TOILET FACILITY IN ACCORDANCE WITH THE STATE OF HAWAII HEALTH DEPARTMENT REQUIREMENTS.
- CONTRACTOR SHALL EXERCISE EXTREME CARE TO AVOID DAMAGE TO EXISTING CONDITIONS, REPAIR AND REPLACE DAMAGE.
- CONTRACTOR SHALL USE NEW UNUSED MATERIALS IN EXECUTION OF THE WORK.
- THE GROUND UNDERNEATH THE DWELLING SHALL BE TREATED FOR TERMITES WITH TERMITOR PRIOR TO PLACING CONCRETE SLAB PER UBC SEC 2310(C) AND AS AMENDED. IN ADDITION, TERMA-MESH® IS TO BE INSTALLED BY A QUALIFIED INSTALLER.
- ALL TERMA-MESH DETAILS, CONFIGURATIONS AND LOCATIONS ARE NOT SHOWN FOR CLARITY.
- ALL WOOD FRAMING MATERIAL SHALL BE ACQ (CHLORINATED) TREATED FOR PROTECTION AGAINST TERMITES OR SIMILAR. DURING EXECUTION OF WORK ANY MATERIAL CUT SHALL BE TREATED FOR TERMITES PRIOR TO INSTALLATION OF SAME.
- CONTRACTOR TO PROVIDE A WARRANTY ON ALL WORK FOR A MINIMUM PERIOD OF ONE YEAR.
- ALL FRAMES, DOOR, ELECTRICAL, PLUMBING, BATH AND KITCHEN FIXTURES/HARDWARE TO BE PROVIDED WITH AN ALLOWANCE. OWNER TO SELECT STYLE AND COLOR.
- CONTRACTOR TO PROVIDE MATERIAL SUBMITTALS TO ARCHITECT.
- UPON COMPLETION OF THE WORK THE CONTRACTOR SHALL REMOVE FROM THE PREMISES ALL RUBBISH, EXCESS MATERIALS AND CLEAN UP PROJECT FOR OCCUPANCY.
- UPON COMPLETION OF THE WORK THE CONTRACTOR SHALL FILE A NOTICE OF COMPLETION AS REQUIRED BY LAW.
- IF APPLICABLE THE CONTRACTOR IS TO FOLLOW THE RECOMMENDATION OF THE SOILS REPORT.
- ALL WORK SHALL CONFORM TO INDUSTRY STANDARDS, LOCAL BUILDING CODES & THE INTERNATIONAL BUILDING CODE.

**NOTES**

- ALL INTERIOR CORNERS TO BE BULLNOSE CORNERS.
- INTERIOR DRYWALL FINISH TO BE SELECTED BY OWNER.
- PROVIDE ALLOWANCE FOR:
  - A. CABINETS
  - B. PLUMBING FIXTURES
  - C. FLOOR/BATH TILE
  - D. CARPET
  - E. ELECTRICAL FIXTURES
  - F. APPLIANCES
  - G. CLOSET SHELVING SYSTEM
  - H. FINISH HARDWARE
  - I. ACCESSORIES
- DOOR KNOBS & HANDLE TO BE SCHLAGE ACCENTS, STYLE & FINISH BY OWNER.
- TERMITOR TERMITICIDE FOR GROUND TREATMENT W/ IMPASS OR TERMA-MESH® PIPE PENETRATIONS.

**PROJECT DATA**

**BUILDING DATA**

FLOOR AREAS:  
REC AREA = 785 SF  
STORAGE = 205 SF  
FIRST FLOOR = 2,304 SF  
SECOND FLOOR = 1,439 SF  
TOTAL FLOOR AREA = 4,488 SF  
STAIRS = 85 SF  
GARAGE STORAGE AREA = 1,540 SF  
EQUIPMENT ROOM = 98 SF  
AC ROOM = 30 SF  
DECK UNCOVERED = 280 SF

**ZONING DATA**

TITLE: (1)2-2-047:007  
AREA (SQ FT): 11,629 SF  
DRAIN: NONE  
FLOOD ZONES: X BEYOND 500 YEAR PLAN  
HEIGHT LIMIT: 25' UNLESS SLOPED  
LOT RESTRICTION: NONE  
SMA: NOT IN SMA  
SLIDE AREA: NONE  
STATE LAND USE: URBAN DISTRICT  
STREET SETBACK: NONE  
ZONING (LUO): R-10 RESIDENTIAL DISTRICT

**LOT COVERAGE**

2,381 = 540 + 2,921 SF / 11,629 = 25 OR 25%, 25% < 50% THUS OK

**FLOOR AREA RATIO**

4,488 SF / 11,629 = 39 OR 39%, 39% < 70% THUS OK

**PARKING REQUIRED**

TOTAL AREA: 4,488 SF  
1 STALL PER 1,000 SF  
4,488 SF / 1,000 SF = 4.49 < 4.5 THUS  
4 STALLS REQUIRED AND PROVIDED

**IMPERVIOUS AREA**

TOTAL AREA: 584(E) + 4,001(I) = 4,585 / 11,629 = 0.3943 OR 39% < 75% THUS OK

**PROJECT SCOPE OF WORK**

NEW RESIDENCE

**SPECIAL INSPECTIONS**

PLACEMENT OF REINFORCING FOR CONCRETE FOUNDATION AND COLUMNS.  
SHEATHED SHEARWALLS AND DIAPHRAGMS.  
COMPLETE LOAD PATH AND UPLIFT TIES.  
TERMITE PROTECTION.

**ENERGY CODE**

CITY AND COUNTY OF HONOLULU  
REVISED ORDINANCE CHAPTER 32,  
HONOLULU COUNTY CODE 1999, AS AMENDED

To the best of my knowledge, this project's design substantially conforms to the Building Energy Conservation Code for:

- Building Components Systems
- Electrical Component Systems
- Mechanical Component Systems

Date: 10/15/21 Signatory: [Signature]  
Name: Mark N. Matsumoto, AIA  
Title: Architect  
License No.: 7055

**2015 IECC CODE AMENDMENTS**

WINDOWS	SOLAR HEAT GAIN COEFFICIENT OF LESS THAN .25 ON ALL WINDOWS
WALL	R13 IN STUD WALLS NO INSULATION REQUIRED FOR MASS WALL
WINDOWS AND SKYLIGHTS	SOLAR HEAT GAIN COEFFICIENT
AIR LEAKAGE	NA
CEILING FANS	WHOLE HOUSE FAN OR CEILING FANS PROVIDED
SOLAR CONDUIT AND ELECTRICAL PANEL READINESS	LOCATION FOR INVERTERS, METERING EQUIPMENT, BATTERY EQUIPMENT, ENERGY STORAGE EQUIPMENT, AND OTHER EQUIPMENT REQUIRED TO INTERCONNECT WITH THE ELECTRICAL GRID. NEW SINGLE-FAMILY, TWO-FAMILY DETACHED AND DUPLEXES HAVE ELECTRICAL PANEL TO ACCOMMODATE 75 KWAC PHOTOVOLTAIC SYSTEM. PANEL MUST INCLUDE SPACE RESERVED AND LABELED AS SOLAR PV READY. CONDUIT ?1.5 INCHES MUST BE INSTALLED FROM PANEL TO INVERTER LOCATION AND FROM INVERTER LOCATION TO THE UNDERSIDE OF THE ROOF.
ELECTRIC VEHICLE READINESS	MINIMUM 16A FOR ENCLOSED ATTACHED RESIDENTIAL GARAGES

**3160 RESIDENCE**

**NEW SINGLE FAMILY DWELLING**

**3160 Puu Paka, Unit 1,  
Honolulu, Hawaii 96817  
TMK: (1)2-2-047:007**

**DRAWING INDEX**

CIVIL	MECHANICAL	ELECTRICAL
C001 CONSTRUCTION NOTES 1	A301 FRONT ELEVATION	S001 STRUCTURAL NOTES
C002 EROSION SEDIMENT CONTROL NOTES	A302 RIGHT ELEVATION	S100 FOUNDATION PLAN
C101 EXISTING CONDITIONS	A303 REAR ELEVATION	S101 FOUNDATION AND ROOF FRAMING PLAN
C200 OVERALL SITE UTILITY GRADING PLAN	A304 LEFT ELEVATION	S102 FOUNDATION AND ROOF FRAMING PLAN
C201 PARTIAL SITE UTILITY GRADING PLAN 1	A301 BUILDING SECTIONS	S103 FOUNDATION AND ROOF FRAMING PLAN
C202 PARTIAL SITE UTILITY GRADE PLAN	A302 BUILDING SECTIONS	S300 STRUCTURAL DETAILS
C300 EROSION SEDIMENT CONTROL PLAN	A303 BUILDING SECTIONS	S301 STRUCTURAL DETAILS
C301 EROSION SEDIMENT CONTROL DETAILS	A304 WALL SECTIONS	S302 STRUCTURAL DETAILS
D400 UTILITY PROFILES 1	A305 WALL SECTIONS	S303 STRUCTURAL DETAILS
D500 SITE SECTIONS 1	A306 DETAILS	S304 STRUCTURAL DETAILS
D600 SITE DETAILS 1	A307 DETAILS	S305 STRUCTURAL DETAILS
D601 SITE DETAILS 2	M001 REC DECK PLAN MECHANICAL	M002 FIRST FLOOR PLAN MECHANICAL
A001 NOTES	M003 SECOND FLOOR PLAN MECHANICAL	M004 SPECIFICATIONS DETAILS
A002 OVERALL SITE PLAN	E101 REC DECK LIGHTING PLAN	E102 FIRST FLOOR LIGHTING PLAN
A003 SITE PLAN	E104 REC DECK POWER PLAN	E103 SECOND FLOOR LIGHTING PLAN
A004 IMPERVIOUS SURFACES	E105 FIRST FLOOR POWER PLAN	E104 REC DECK POWER PLAN
A101 REC DECK FLOOR PLAN	E106 SECOND FLOOR POWER PLAN	
A102 FIRST FLOOR PLAN		
A103 SECOND FLOOR PLAN		
A104 ROOF PLAN		
A105 REC DECK REFLECTED CEILING PLAN		
A106 FIRST FLOOR REFLECTED CEILING PLAN		
A107 SECOND FLOOR REFLECTED CEILING PLAN		

PALEKANA PERMITS  
THIRD PARTY CERTIFICATION

BUILDING CODE  ELECTRICAL CODE  
 MECHANICAL CODE  RESIDENTIAL CODE  
 STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)

**3160 Residence**  
New Single Family Dwelling  
3160 Puu Paka, Unit 1,  
Honolulu, Hawaii 96817  
TMK: (1)2-2-047:007

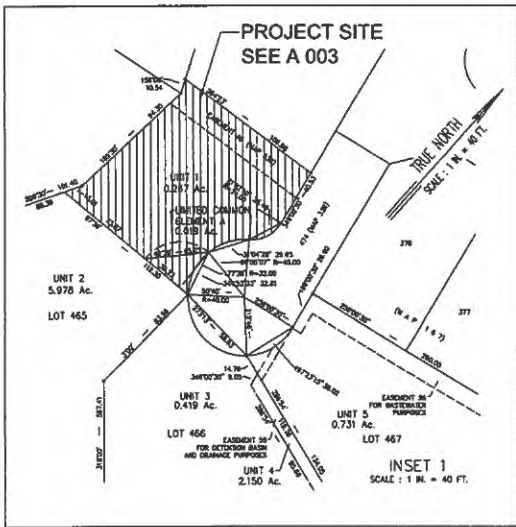
Architecture & Interior Design  
P.O. Box 9229  
Kalaheo, HI 96944  
(809) 235-3079 (809) 235-2656 fax

**M Squared Design**

DATE: 10/15/2021  
SCALE: AS NOTED  
DRAWN BY:  
JOB NO.:  
SHEET TITLE: NOTES  
A001

88045-2

BUILDING DIVISION  
FILE COPY



DOWSETT ESTATES CONDOMINIUM PROJECT  
 BEING LOTS 465 THROUGH 471 AND 473  
 AS SHOWN ON MAP 339  
 AND LOT 477  
 AS SHOWN ON MAP 340  
 LAND COURT APPLICATION 198  
 AT HUAHUA VALLEY, HONOLULU, OAHU, HAWAII  
 SCALE: 1 IN. = 100 FT.  
 SEPTEMBER 14, 2018 WALTER P. THOMPSON, INC.

CITY AND COUNTY OF HONOLULU  
 DEPARTMENT OF PLANNING AND PERMITTING

**APPROVED**

The issuance hereof is by permit or approval of plans, specifications, and other data that are to be submitted for a permit, or approval of the issuance of any other data. The receipt of a permit or approval does not constitute a warranty of the building official's approval of the construction of the project or the quality of the work or the safety of the project. The building official's approval is based on the information provided and does not constitute a warranty of the building official's approval of the construction of the project or the quality of the work or the safety of the project. The building official's approval is based on the information provided and does not constitute a warranty of the building official's approval of the construction of the project or the quality of the work or the safety of the project.

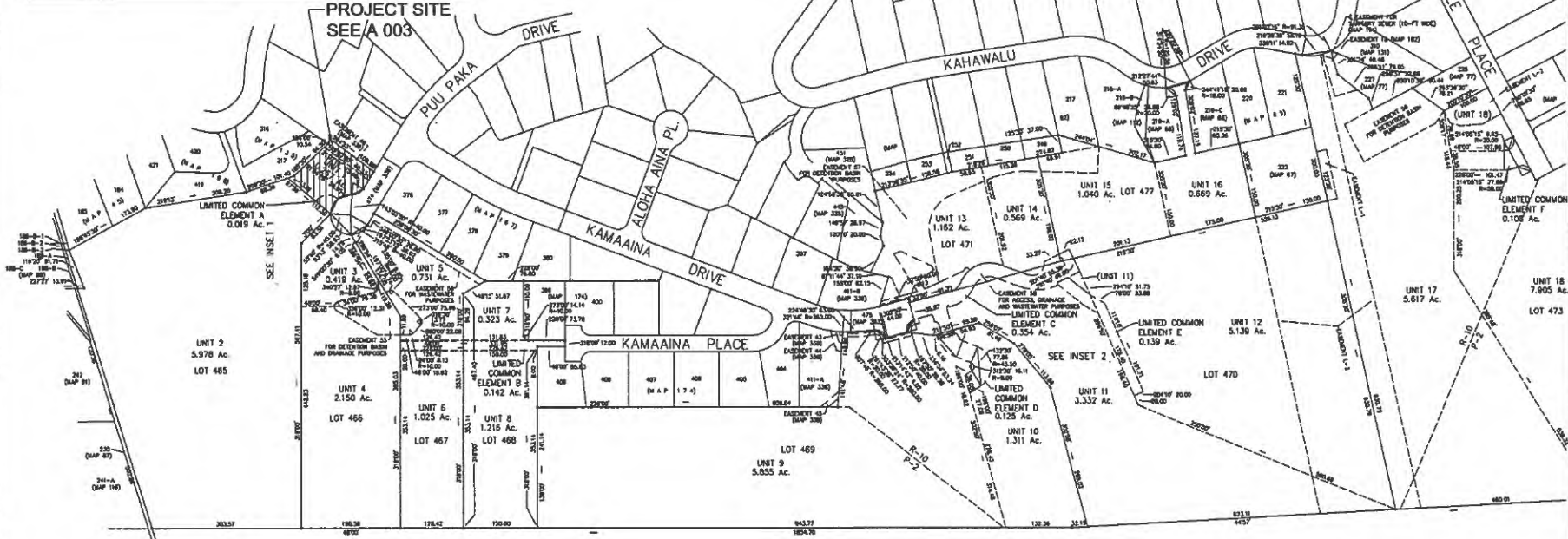
PERMIT RELEASED:  
 APPROVED DATE: 03/03/2021  
 BY: Eusebio Cabales

▲ BUILDING REVIEWER  
 12/03/2021

▲ BUILDING REVIEWER  
 03/28/2022

WALTER P. THOMPSON, INC.  
 LICENSED PROFESSIONAL ARCHITECT  
 No. 788  
 HAWAII, U.S.A.  
 EXP. 05/2022

STATE OF HAWAII  
 Department of Planning and Permitting



(A1) OVERALL SITE PLAN  
 SCALE: 1" = 100'-0"

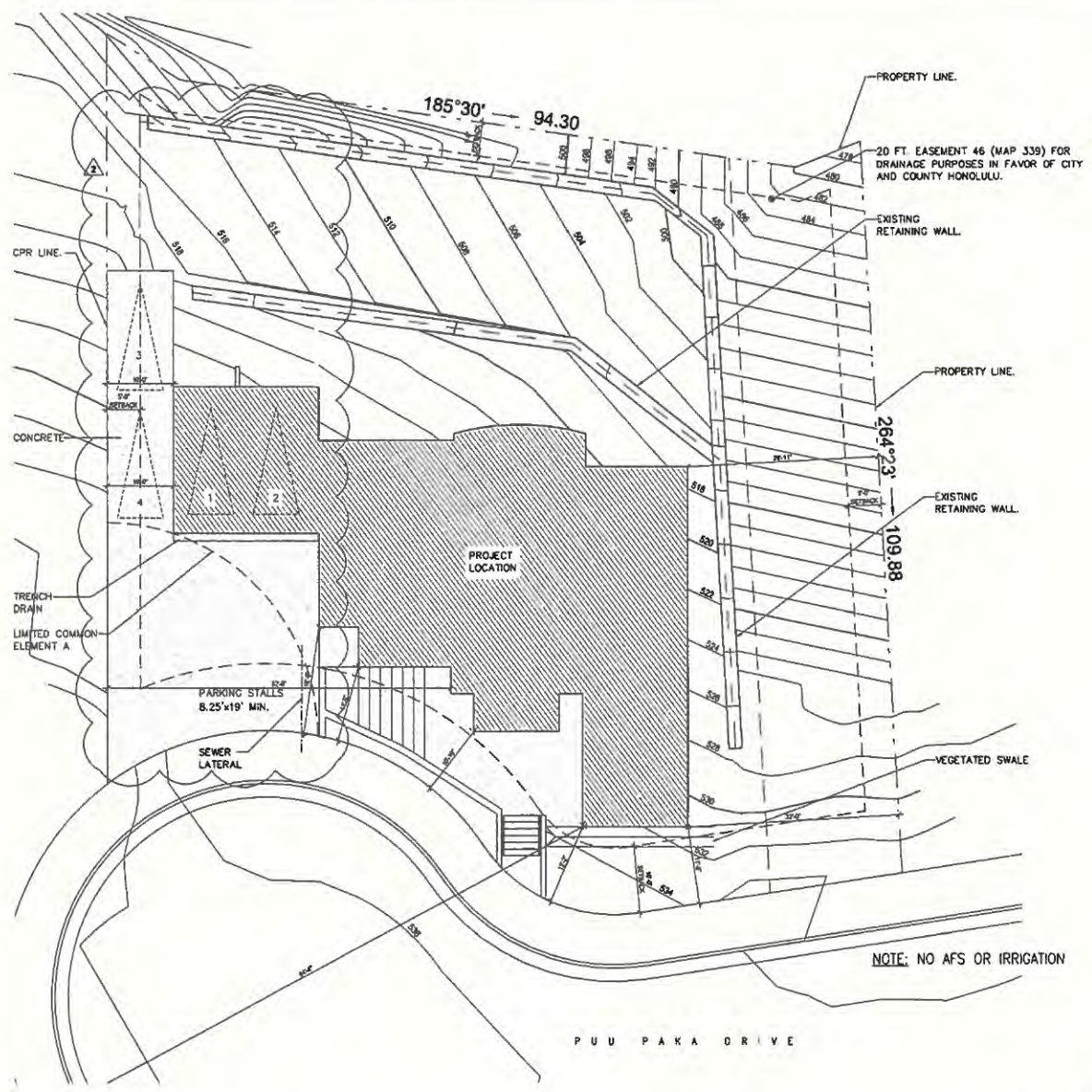
PALEKAHA PERMITS THIRD PARTY CERTIFICATION	
<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> RESIDENTIAL CODE
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	

3160 Residence  
 New Single Family Dwelling  
 3160 Puu Paka, Unit 1,  
 Honolulu, Hawaii 96817  
 TMK: (1) 2-2-047-007

Architecture • Interior Design  
 P.O. Box 5229  
 Honolulu, HI 96144  
 (808) 233-3070 (808) 233-2656 fax

MSquared Design

DATE: 10/15/2021  
 SCALE: AS NOTED  
 DRAWN BY:  
 JOB NO.:  
 SHEET TITLE: OVERALL SITE PLAN  
 A002



**A1 SITE PLAN**  
SCALE: 1/8" = 1'-0"

CITY AND COUNTY OF HONOLULU  
DEPARTMENT OF PLANNING AND PERMITTING  
**APPROVED**

The issuance hereunder of any permit or approval of plans, specifications, and other data shall not be construed to be a practice fee, or approval of any violation of any provisions of this code or of any other law. The issuance of a permit shall not prevent the building official from discontinuing the construction of any project and modifications to any building, building materials when in violation of the provisions of this chapter and this chapter or of any other law, nor shall it prevent the building official from and the issuance of permits as provided under Section 15-7.2 except for violation of any of the provisions of this chapter and this chapter.

PERMIT NUMBER: 080922  
APPROVED DATE: 08/09/22  
BY: ENOSING CUBANOS

▲ BUILDING REVIEWER  
12/03/2021  
▲ BUILDING REVIEWER  
03/28/2022

**MARIE M. MATSUMI**  
LICENSED PROFESSIONAL ARCHITECT  
NO. 7058  
HAWAII, U.S.A.  
CIP 45022

**3160 Residence**  
New Single Family Dwelling  
3160 Puu Paka, Unit 1,  
Honolulu, Hawaii 96817  
TMK: (1) 2-2-047:007

Architecture • Interior Design  
P.O. Box 2229  
Kaneohe, HI 96744  
(808) 235-5870 (808) 235-2658 fax



DATE: 10/15/2021  
SCALE: AS NOTED  
DRAWN BY:  
JOB NO:

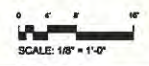
SHEET TITLE: SITE PLAN

PALEKANA PERMITS  
THIRD PARTY CERTIFICATION

BUILDING CODE     ELECTRICAL CODE  
 MECHANICAL CODE     RESIDENTIAL CODE  
 STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)

**A003**

NOTE: NO AFS OR IRRIGATION





CITY AND COUNTY OF HONOLULU  
 DEPARTMENT OF PLANNING AND PERMITTING  
**APPROVED**

The licensee/contractor of any permit or approval of plans, specifications, and other data that has been approved by the Department of Planning and Permitting is responsible for the accuracy of the information and the truth of any other facts. The licensee/contractor shall be responsible for the accuracy of the information and the truth of any other facts. The licensee/contractor shall be responsible for the accuracy of the information and the truth of any other facts.

PERMIT NUMBER: [blank]  
 APPROVED DATE: 06/02/2022

STATE OF HAWAII  
 W/ Earthquake Commission

BUILDING REVIEW  
 06/02/2022



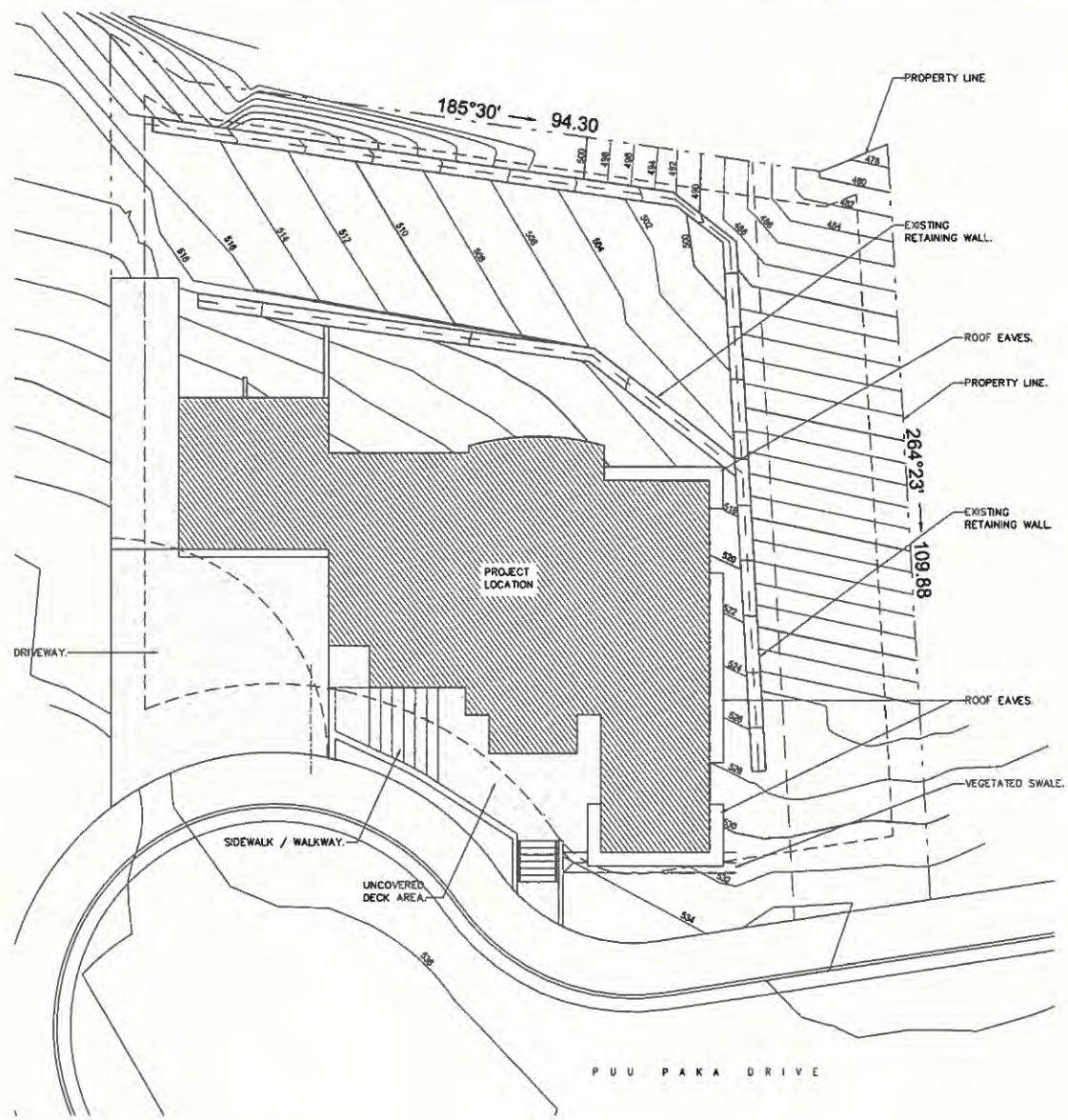
3160 Residence  
 New Single Family Dwelling  
 3160 Puu Paka, Unit 1,  
 Honolulu, Hawaii 96817  
 TMK: (1) 2-2-047:007

Architecture • Interior Design  
 P.O. Box 5229  
 Honolulu, HI 96814  
 (808) 233-3070 (808) 233-2685 fax



DATE: 10/15/2021  
 SCALE: AS NOTED  
 DRAWN BY:  
 JOB NO.:

SHEET TITLE: IMPERVIOUS SURFACE  
 A004  
 SHEET OF



RESIDENTIAL STORM WATER MANAGEMENT NOTES FOR SINGLE-FAMILY AND TWO-FAMILY DWELLING PROJECTS:  
 (I) USE SITE DESIGN STRATEGIES TO REDUCE THE IMPERVIOUS SURFACE AREAS TO THE MAXIMUM EXTENT PRACTICAL. THE TOTAL IMPERVIOUS SURFACE AREA FOR THE LOT MAY NOT EXCEED 75% PER LUO SECTION 21-3.70.1(C).  
 (II) TOTAL IMPERVIOUS AREA = 39%

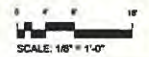
**IMPERVIOUS SURFACES:**

- DRIVEWAY: 760 SF.
- ROOF AREA INCLUDING EAVES: 2,381 SF.
- SIDEWALK / WALKWAY: 580 SF.
- UNCOVERED DECK: 280 SF.
- EXISTING RETAINING WALLS: 584 SF.
- TOTAL: 4,585 SF.

(A1) IMPERVIOUS SURFACE  
 SCALE: 1/8" = 1'-0"

PALEKANA PERMITS  
 THIRD PARTY CERTIFICATION

BUILDING CODE     ELECTRICAL CODE  
 MECHANICAL CODE     RESIDENTIAL CODE  
 STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)



GENERAL CONSTRUCTION NOTES

- 1. ALL APPLICABLE CONSTRUCTION WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION...
2. THE APPROVED PLAN, CHANGES OR NOTICES SHOWN TO CORRECT THE DESIGN FROM THE ORIGINAL PLAN...
3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROJECT...
4. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROJECT...
5. FOR WORK NOT COVERED BY THE STANDARD SPECIFICATIONS...
6. DISCHARGE OF HAZARDOUS WASTE...
7. ALL SAFETY EQUIPMENT REQUIRED BY THE OSHA REGULATIONS...
8. FALL PROTECTION...
9. HAZARDOUS WASTE...
10. CONTAMINATION CONTROL...
11. DISCHARGE OF HAZARDOUS WASTE...
12. DISCHARGE OF HAZARDOUS WASTE...
13. DISCHARGE OF HAZARDOUS WASTE...
14. DISCHARGE OF HAZARDOUS WASTE...
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19. DISCHARGE OF HAZARDOUS WASTE...
20. DISCHARGE OF HAZARDOUS WASTE...
21. DISCHARGE OF HAZARDOUS WASTE...
22. DISCHARGE OF HAZARDOUS WASTE...

GRADING NOTES

- 1. ALL GRADING WORK SHALL BE DONE IN ACCORDANCE WITH CHAPTER 11, ARTICLES 11.14, 11.16 AND 11.18 RELATED TO GRADING...
2. NO GRADING SHALL BE DONE IN ANY AREAS WHERE PROPOSED OR EXISTING UTILITIES ARE LOCATED...
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROJECT...
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20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROJECT...
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROJECT...
22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROJECT...

PUBLIC HEALTH & COMPLIANCE NOTES

- 1. THE CONTRACTOR SHALL OBTAIN AND COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS...
2. THE CONTRACTOR SHALL OBTAIN AND COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS...
3. THE CONTRACTOR SHALL OBTAIN AND COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS...
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22. THE CONTRACTOR SHALL OBTAIN AND COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS...

WATER NOTES

- 1. UNLESS OTHERWISE SPECIFIED, ALL MATERIALS AND CONSTRUCTION OF WATER SYSTEM FACILITIES AND APPURTENANCES SHALL BE IN ACCORDANCE WITH THE CITY AND COUNTY OF HONOLULUI...
2. THE CONTRACTOR SHALL OBTAIN AND COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS...
3. THE CONTRACTOR SHALL OBTAIN AND COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS...
4. THE CONTRACTOR SHALL OBTAIN AND COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS...
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21. THE CONTRACTOR SHALL OBTAIN AND COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS...
22. THE CONTRACTOR SHALL OBTAIN AND COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS...

APPROVED stamp with signature and date. Includes text: 'I hereby certify that the above described project has been reviewed and approved for construction...'

Table with columns: REVISIONS, NO., DATE, DESCRIPTION. Includes a legend for symbols: 1. Change, 2. Add, 3. Delete, 4. Move, 5. Duplicate, 6. Erase, 7. Dimension, 8. Note, 9. Section, 10. Detail, 11. Section, 12. Detail.

RESIDENCE 3160 PUUPAKA UNIT 1 NEW SINGLE-FAMILY DWELING. 3160 PUUPAKA DRIVE UNIT 1 HONOLULU, HAWAII. TAX MAP KEY: U12-2-247-007. Includes a logo for 'CITY AND COUNTY OF HONOLULUI'.

CONSTRUCTION NOTES 1. Date: FEB 2022. Drawn by: AY. Includes a logo for 'CITY AND COUNTY OF HONOLULUI'.



CITY AND COUNTY OF HONOLULU  
DEPARTMENT OF PLANNING AND PERMITTING

**APPROVED**

This license is granted for the purpose of planning, design, construction, and other work that may be required for the project, but it does not constitute an approval of any portion of the work or of any other law. The licensee shall be responsible for obtaining all necessary permits and approvals from the appropriate agencies and for ensuring that the project complies with all applicable laws, rules, and regulations. The licensee shall also be responsible for obtaining all necessary approvals from the appropriate agencies and for ensuring that the project complies with all applicable laws, rules, and regulations.

PERMIT NUMBER: 2-2-048-030  
APPROVED DATE: 08/20/22

STATE OF HAWAII

BY: Enotha Cutsy

PLANNING PERMITS  
THIRD PARTY CERTIFICATION

BUILDING CODE     ELECTRICAL CODE  
 MECHANICAL CODE     PLUMBING CODE  
 FIRE/CHIMNEY/STAIRWELL/SMOKE/VENTILATION

**LEGEND**

----- PROPERTY LINE  
- - - - - LIMITS OF CONSTRUCTION

REVISIONS	BY

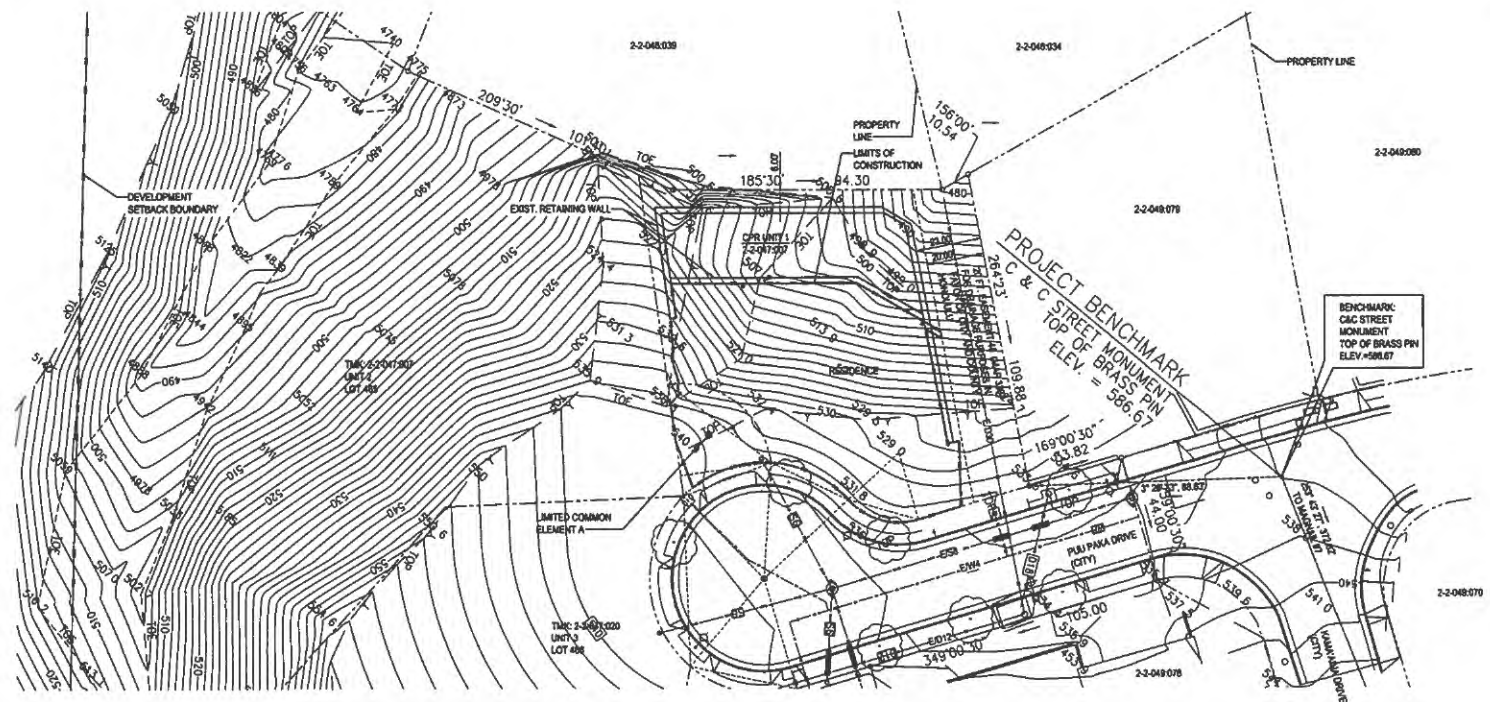
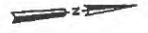
RESIDENCE 3180 PUUPAKA UNIT 1  
NEW SINGLE-FAMILY DWELING  
3180 PUUPAKA DRIVE UNIT 1 HAWAII  
HONOLULU OAHU  
TAX MAP KEY: (1) 2-2-047-007



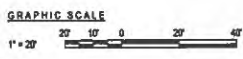
**EXISTING CONDITIONS**

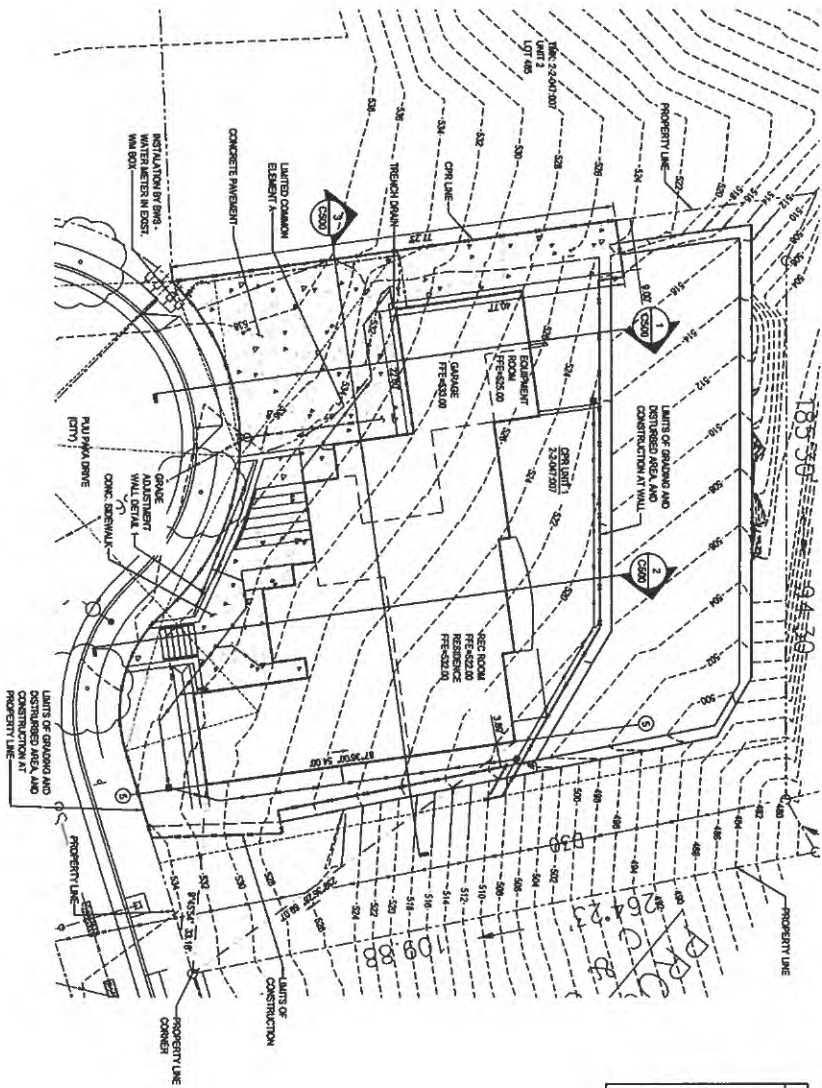
Date: OCT 2021  
Scale: AS NOTED  
Design By: CB  
Drawn By: AY  
Sheet No. C101

Sheet    of   



**1** EXISTING CONDITIONS  
C101 SCALE: 1" = 20'





1 OVERALL SITE PLAN  
C200 SCALE: 1" = 10'



**BWS FLOW REQUIREMENTS**

PROJECT: 3160 NEW METER

DESCRIPTION	LETTER NUMBER (A/N): NEW METER	F.I.L.	GRM	GRD
A. PROPOSED DOMESTIC (ALL TRENCHES BEING INSTALLED)		33.0	22	715
B. PROPOSED OTHER IRRIGATION		0	0	0
C. GRAND TOTAL		33.0	22	715
D. FIRE FLOW			0	

LOT AREA: 12,454 SF / 43,560 SF \* 2,500 GPD = 715 GPD

**ESTIMATE OF CHANGES TABLE**

DESCRIPTION	NEW LETTER	CHANGES	NEW LETTER
DOMESTIC SERVICE			
NEW WATER INSTALLATION CHANGE			
WATER SYSTEM FACILITIES CHANGES			
CONCRETE WALKWAY / PO		XXX	
GRAVE		0	
P/20		N/A	
TOTAL			

CITY AND COUNTY OF HONOLULU  
DEPARTMENT OF PLANNING AND PERMITTING  
**APPROVED**  
DATE: FEBRUARY 15, 2022  
BY: [Signature]

**REVISIONS**

NO.	DATE	DESCRIPTION
1	FEB 2022	ISSUED FOR PERMITTING

**LEGEND**

- PROPERTY LINE
- LIMITS OF CONSTRUCTION
- LIMITS OF GRAVING AND DISTURBED AREA
- STRUCTURE FOOTPRINT
- FURNISHED GRADE CONTOUR
- EXISTING GRADE CONTOUR
- DEADLINE
- SEWER LINE
- WATER LINE
- CONCRETE WALKWAY AND PAVEMENT

**RESPONSE TO COMMENTS**  
NOTES FOR SINGLE-FAMILY AND TWO-FAMILY DWELLING PROJECTS

1) USE SITE DESIGN CRITERIA TO DETERMINE TYPE AND LOCATION OF GRAVING AND DISTURBED AREAS TO THE MAXIMUM EXTENT PRACTICAL. THE TOTAL GRAVING AND DISTURBED AREA FOR THE LOT MUST NOT EXCEED 7% PER LOT SECTION 21.3.11.101.

2) TOTAL IMPERVIOUS AREA = 37.89%.

**RESIDENCE 3160 PUUPAKA UNIT 1  
NEW SINGLE-FAMILY DWELING**

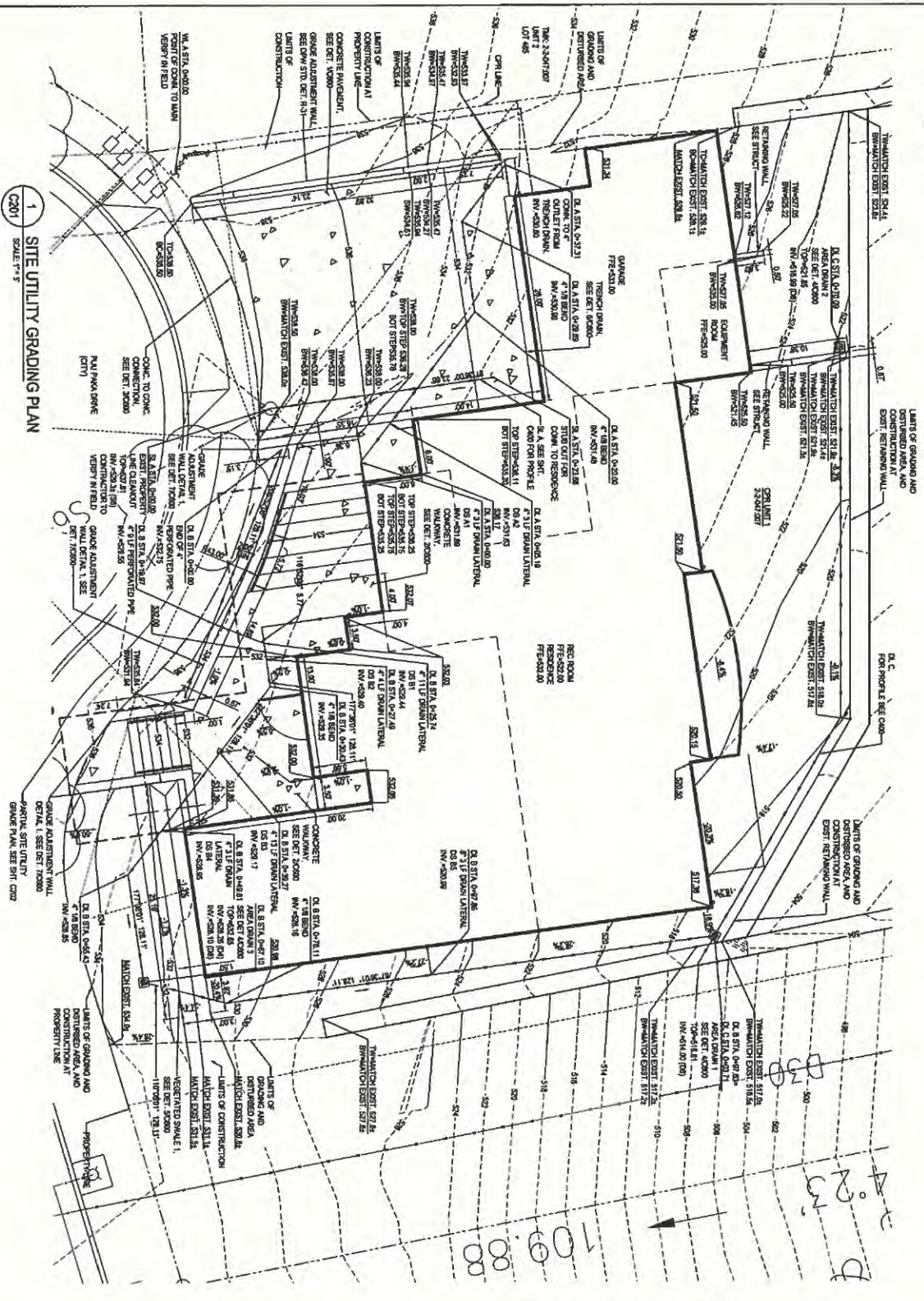
3160 PUUPAKA DRIVE UNIT 1 HAWAII  
HONOLULU OAHU  
TAX MAP KEY: (1) 2-2-047-007

**REVISIONS**

NO.	DATE	DESCRIPTION
1	FEB 2022	ISSUED FOR PERMITTING

Overall Site Plan  
C200  
Scale: 1" = 10'

**1 SITE UTILITY GRADING PLAN**  
 C201 SCALE 1"=8'



**EARTHWORK QUANTITIES**  
 FROM BENCHMARK POINT PROCESSES ONLY  
 DISTURBED AREA 0.07 ACRES  
 GRADED AREA 0.07 ACRES  
 EXCAVATION 44 CY  
 EMBANKMENT 42 CY

- LEGEND**
- ▭ DISTURBED AREAS
  - ▭ THIRD PARTY UTILITIES
  - ▭ EXISTING GRADE CONTOUR
  - ▭ PROPOSED GRADE CONTOUR
  - ▭ PROPERTY LINE
  - ▭ LIMITS OF CONSTRUCTION
  - ▭ LIMITS OF GRADING AND DISTURBED AREA
  - ▭ STRUCTURE FOOTPRINT
  - ▭ EXISTING GRADE CONTOUR
  - ▭ PROPOSED GRADE CONTOUR
  - ▭ DRAIN LINE
  - ▭ SEWERLINE
  - ▭ WATERLINE
  - ▭ CONCRETE WALKWAY AND FINISHMENT
  - ▭ MATCHLINE
  - ▭ PROPOSED GRADE CONTOUR
  - ▭ PROPOSED SLOPE DIRECTION
  - ▭ PROPOSED SPOT ELEVATION

**GRAPHIC SCALE**  
 1"=8'  
 0 5 10

**REVISIONS**

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

**APPROVED**  
 CITY AND COUNTY OF HONOLULU  
 DEPARTMENT OF PLANNING AND PERMITTING  
 APPROVED DATE: 02/28/2022  
 BY: [Signature]

**RESIDENCE 3160 PUUPAKA UNIT 1**  
 NEW SINGLE-FAMILY DWELING  
 3160 PUU PAKA DRIVE UNIT 1  
 HONOLULU OAHU HAWAII  
 TAX MAP KEY: (1) 2-2-047:007

**C201**  
 DATE: FEB 2022  
 DRAWN BY: AV  
 CHECKED BY: AV  
 DESIGNED BY: AV

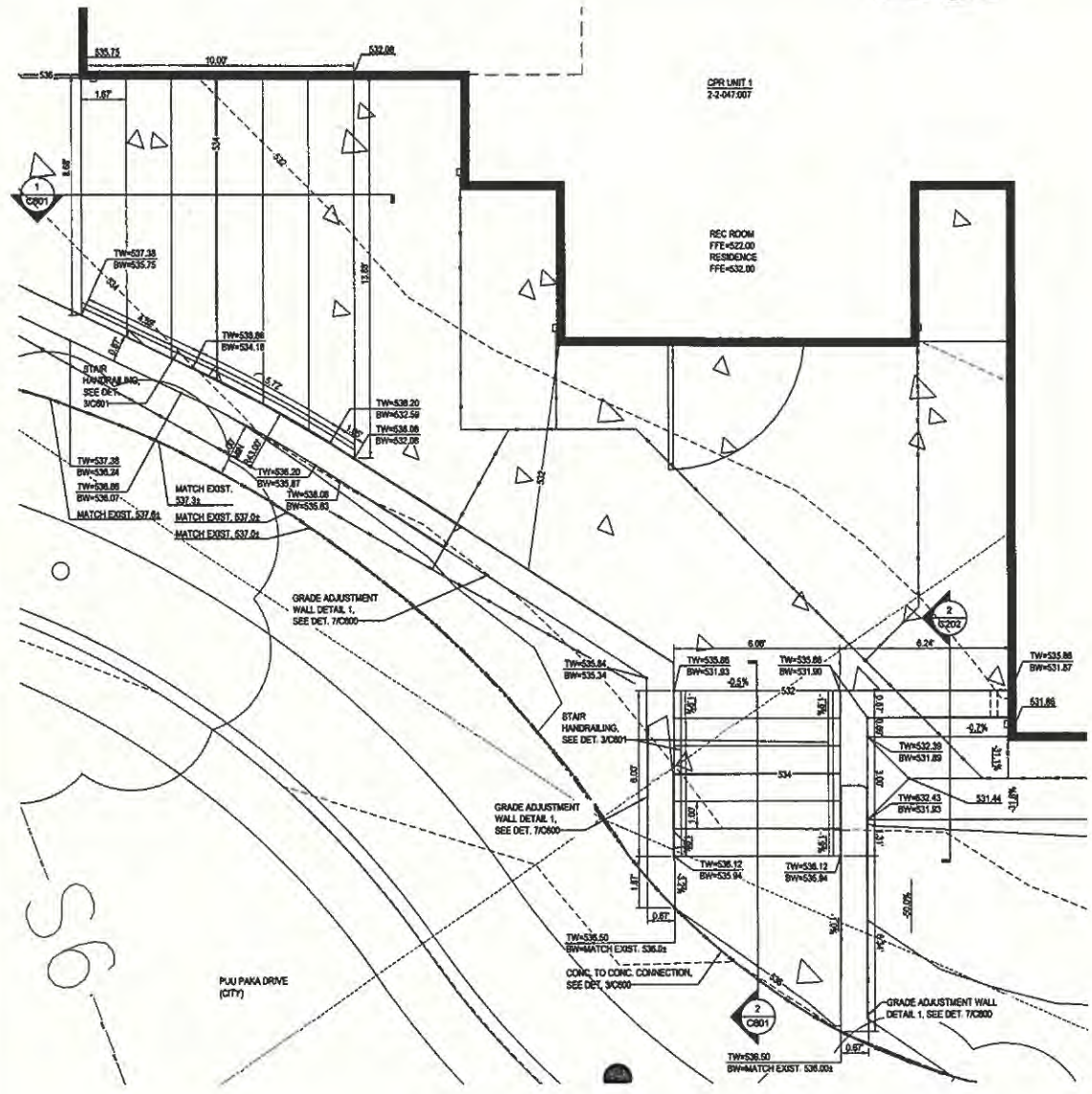
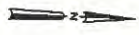
**CONTRACTOR**  
 [Signature]

CITY AND COUNTY OF HONOLULU  
 DEPARTMENT OF PLANNING AND PERMITTING

**APPROVED**

The Hawaii Department of Planning and Permitting, and other State and local agencies have approved this plan, specification, and other documents for the proposed project. This approval does not constitute a warranty of any kind, nor does it constitute a guarantee of the accuracy or completeness of the information provided. The applicant is responsible for obtaining all necessary permits and approvals from the appropriate State and local agencies. The applicant is also responsible for obtaining all necessary approvals from the appropriate State and local agencies. The applicant is also responsible for obtaining all necessary approvals from the appropriate State and local agencies.

PERMIT NUMBER: 2-2-047-007  
 APPROVED DATE: 09/20/22  
 BY: Evelyn Oshiro

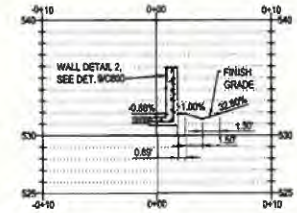


**1 PARTIAL SITE UTILITY GRADE PLAN**  
 SCALE: 1" = 5'

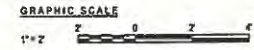
PALUANA PERMITS  
 THIRD PARTY CERTIFICATION

MECHANICAL CODE  ELECTRICAL CODE  
 STRUCTURAL CODE  PLUMBING CODE  
 FIRE/RETARDATION/SAFETY PERMITS

- LEGEND**
- PROPERTY LINE
  - LIMITS OF CONSTRUCTION
  - LIMITS OF GRADING & DISTURBED AREA
  - STRUCTURE FOOTPRINT
  - FINISHED GRADE CONTOUR
  - EXISTING GRADE CONTOUR
  - DRAIN LINE
  - SEWER LINE
  - WATER LINE
  - CONCRETE WALKWAY AND PAVEMENT
  - MATCHLINE
  - PROPOSED SLOPE DIRECTION
  - PROPOSED SPOT ELEVATION



**2 MODIFIED GRADE ADJUSTMENT WALL**  
 SCALE: 1" = 5'



REVISIONS	BY

RESIDENCE 3160 PUUPAKA UNIT 1  
 NEW SINGLE-FAMILY DWELING  
 3160 PUUPAKA DRIVE UNIT 1 HAWAII  
 HONOLULU OAHU  
 TAX MAP KEY: (1) 2-2-047-007

**2**  
**C202**

Scale: AS NOTED  
 Design By: CB  
 Drawn By: AY

Date: OCT 2021  
 Sheet No: C202

CITY AND COUNTY OF HONOLULU  
DEPARTMENT OF PLANNING AND HAWAIIAN AFFAIRS  
**APPROVED**  
11/10/2021  
By: [Signature]  
Title: Director  
For: [Signature]  
Title: City Engineer

REVISIONS BY  
DATE

THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF IT COMPLIES WITH ALL CITY AND COUNTY REQUIREMENTS AND ORDINANCES AND IS ACCURATE AND COMPLETE. I AM A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF HAWAII. I HAVE REVIEWED THIS PLAN AND I AM SURE THAT IT COMPLIES WITH ALL CITY AND COUNTY REQUIREMENTS AND ORDINANCES AND IS ACCURATE AND COMPLETE. I AM A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF HAWAII.

DATE: 10/27/2021  
ENGINEER: [Signature]  
ADDRESS: [Address]

DAVID W. MCCORMACK  
LICENSED PROFESSIONAL ENGINEER  
NO. 1700-C  
HAWAII

**RESIDENCE 3160 PUUPAKA UNIT 1  
NEW SINGLE-FAMILY DWELING**  
3160 PUUPAKA DRIVE UNIT 1  
HONOLULU, OAHU HAWAII  
TAX MAP KEY: (1) 2-2-047:007

**ENGINEER  
SEMMENT CONTROL PLAN**

DATE: OCT 2021  
TITLE: AS NOTED  
DRAWN BY: CS  
CHECKED BY: AV

C300  
GRAPHIC SCALE  
1" = 10'

**LEGEND**

PROPERTY LINE	PROPERTY LINE
LIMITS OF CONSTRUCTION	LIMITS OF CONSTRUCTION
LIMITS OF GRADING & DISTURBED AREA	LIMITS OF GRADING & DISTURBED AREA
STRUCTURE FOOTPRINT	STRUCTURE FOOTPRINT
FINISHED GRADE CONTOUR	FINISHED GRADE CONTOUR
EXISTING GRADE CONTOUR	EXISTING GRADE CONTOUR
FLOW DIRECTION	FLOW DIRECTION
DRYWAY LINE	DRYWAY LINE
SEWAGE TREATMENT PLANT FOR CONSTRUCTION	SEWAGE TREATMENT PLANT FOR CONSTRUCTION
SEWAGE TREATMENT PLANT FOR PERMANENT USE	SEWAGE TREATMENT PLANT FOR PERMANENT USE
SEWAGE TREATMENT PLANT FOR CONSTRUCTION	SEWAGE TREATMENT PLANT FOR CONSTRUCTION
SEWAGE TREATMENT PLANT FOR PERMANENT USE	SEWAGE TREATMENT PLANT FOR PERMANENT USE

**NOTES**

- SEE SHEET 0200 FOR EROSION SEDIMENT CONTROL NOTES
- PRE-CONSTRUCTION MEASUREMENTS FOR EROSION SEDIMENT CONTROL SHALL BE TAKEN AT THE FOLLOWING LOCATIONS:
  - 1. TOP OF GRADE
  - 2. TOP OF FINISHED GRADE
  - 3. TOP OF EXISTING GRADE
  - 4. TOP OF DISTURBED AREA
- TEMPORARY EROSION SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- PERMANENT EROSION SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE PERMANENT USE OF THE PROPERTY.

**Flood Hazard Assessment Report**

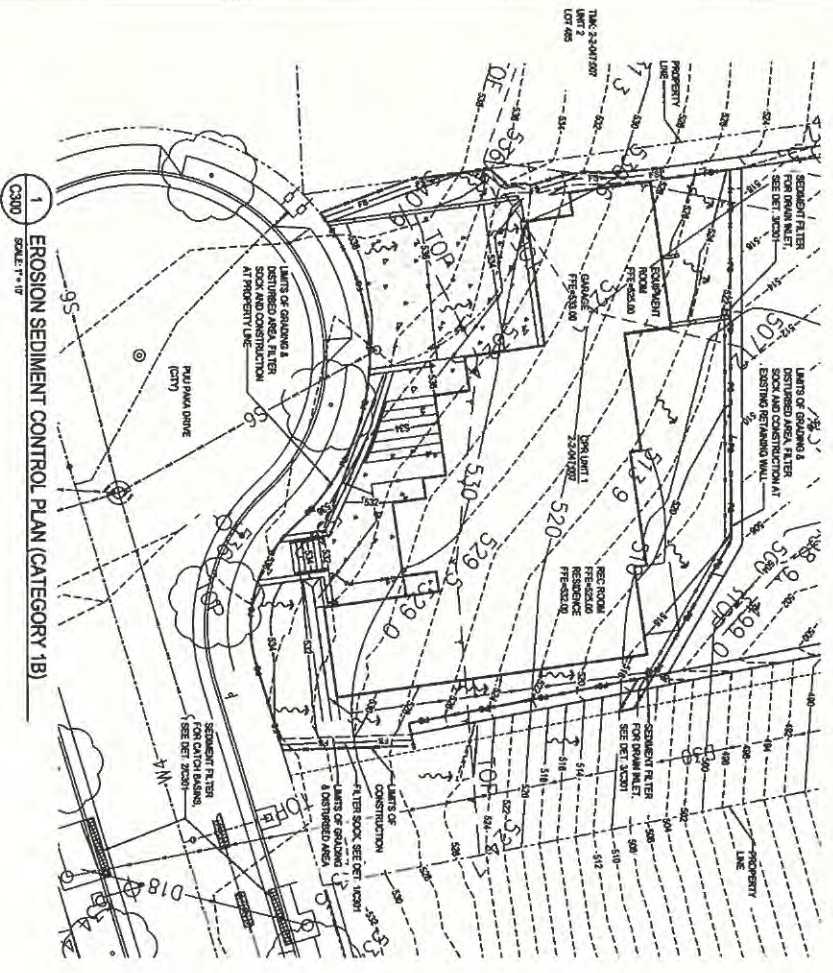
Property Information: 3160 Puupaka Drive Unit 1, Honolulu, HI 96815

Flood Hazard Information: Flood Hazard Category 1B (Erosion Sediment Control)

Notes: This report was prepared in accordance with the requirements of the City of Honolulu and the State of Hawaii. The information provided herein is based on the best available data and is subject to change as more information becomes available.

Legend for Flood Hazard Assessment:

- 1B: Flood Hazard Category 1B (Erosion Sediment Control)
- 2: Flood Hazard Category 2
- 3: Flood Hazard Category 3
- 4: Flood Hazard Category 4
- 5: Flood Hazard Category 5
- 6: Flood Hazard Category 6
- 7: Flood Hazard Category 7
- 8: Flood Hazard Category 8
- 9: Flood Hazard Category 9
- 10: Flood Hazard Category 10
- 11: Flood Hazard Category 11
- 12: Flood Hazard Category 12
- 13: Flood Hazard Category 13
- 14: Flood Hazard Category 14
- 15: Flood Hazard Category 15
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- 17: Flood Hazard Category 17
- 18: Flood Hazard Category 18
- 19: Flood Hazard Category 19
- 20: Flood Hazard Category 20



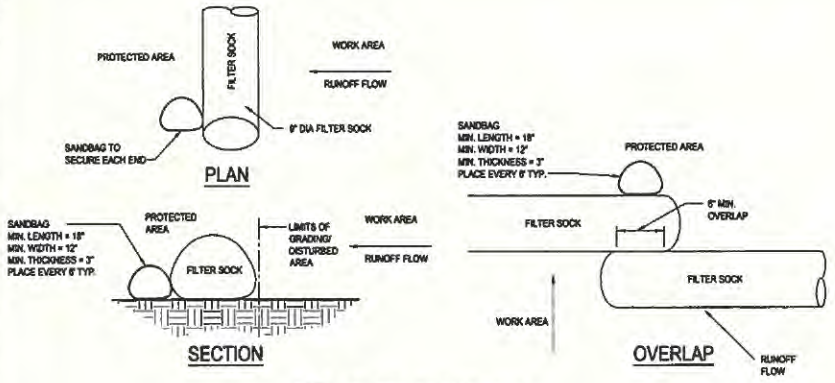
1 EROSION SEDIMENT CONTROL PLAN (CATEGORY 1B)  
SCALE: 1"=10'



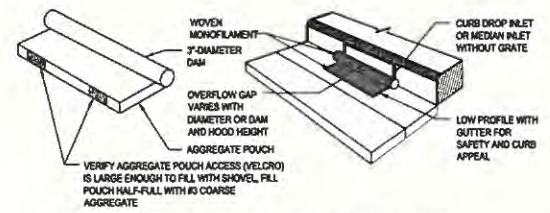
PROFESSIONAL PERMITS  
 THIRD PARTY CERTIFICATION  
 ARCHITECTURAL CODE     ELECTRICAL CODE  
 MECHANICAL CODE     PLUMBING CODE  
 STRUCTURAL PROFESSIONAL ENGINEER

REVISIONS BY

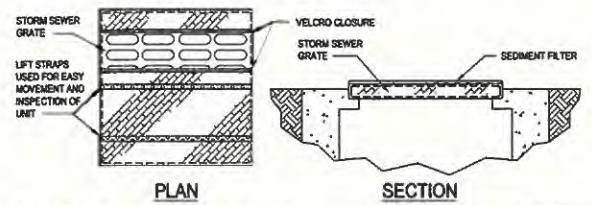
NO. 1	DATE	BY	REVISIONS



1 FILTER SOCK DETAIL  
 C301 NOT TO SCALE



2 SEDIMENT FILTER FOR CATCH BASINS  
 C301 NOT TO SCALE



Mechanical Properties	Test Method	Units	MARY
Grab Tensile Strength	ASTM D 4832	lbf (lbs)	1.82 (863) x 0.89 (200)
Grab Tensile Elongation	ASTM D 4832	%	24 x 10
Puncture Strength	ASTM D 4833	lbf (lbs)	0.40 (90)
Mullen Burst Strength	ASTM D 4786	lbf/in <sup>2</sup> (psi)	3097 (430)
Trapezoid Tear Strength	ASTM D 4533	lbf (lbs)	0.51 (115) x 0.33 (73)
UV Resistance	ASTM D 4355	%	90
Apparent Opening Size	ASTM D 4751	mm (US Std Sieve)	0.425 (40)
Flow Rate	ASTM D 4491	l/min/ft <sup>2</sup> (gal/min/ft <sup>2</sup> )	5907 (145)
Permeability	ASTM D 4491	Sec <sup>-1</sup>	2.1

3 SEDIMENT FILTER FOR DRAIN INLETS  
 C301 NOT TO SCALE

RESIDENCE 3160 PUJUPAKA UNIT 1  
 NEW SINGLE-FAMILY DWELING  
 3160 PUJUPAKA DRIVE UNIT 1  
 HONOLULU OAHU HAWAII  
 TAX MAP KEY: (1) 2-2-047.007



EROSION  
 SEDIMENT  
 CONTROL DETAIL

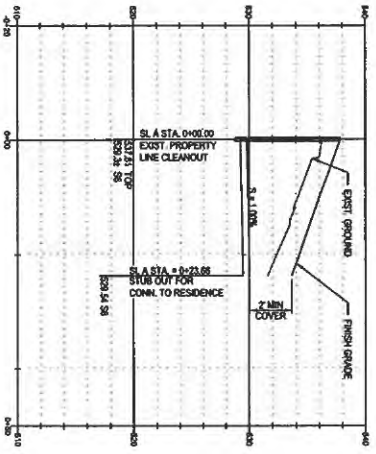
Date: OCT 2021  
 Drawn: AS NOTED  
 Design By: CB  
 Drawn By: AY  
 Sheet No:

C301

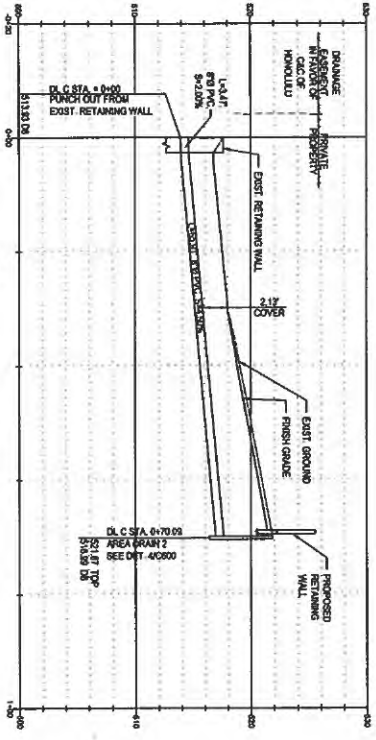
Sheet: — of X

CITY AND COUNTY OF HONOLULU  
 DEPARTMENT OF PLANNING AND PERMITTING  
**APPROVED**  
 CITY OF HAWAII  
 APPROVED DATE: 02/26/2022  
 BY: [Signature]  
 TITLE: [Title]

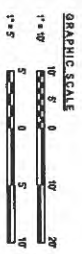
HAWAIIAN STATE  
 PLANNING CERTIFICATION  
 Survey Code  
 Drafting Code  
 Professional Engineer  
 Professional Architect



**1**  
 SEWER LINE A PROFILE  
 HORIZONTAL SCALE 1"=10'  
 VERTICAL SCALE 1"=5'



**2**  
 DRAIN LINE C PROFILE  
 HORIZONTAL SCALE 1"=10'  
 VERTICAL SCALE 1"=5'



RESIDENCE 3160  
 PROJECT NO. 22-047  
 SHEET NO. 1 OF 1

**RESIDENCE 3160 PUUPAKA UNIT 1  
 NEW SINGLE-FAMILY DWELING**  
 3160 PUU PAKA DRIVE UNIT 1  
 HONOLULU OAHU HAWAII  
 TAX MAP KEY: (1) 2-2-047:007



Date: FEB 2022  
 Scale: AS NOTED  
 Design: CS  
 Drawn: AV  
 Project No.: C400  
 Sheet: 1 of X

CITY AND COUNTY OF HONOLULU  
DEPARTMENT OF PLANNING AND PERMITTING

**APPROVED**

The issuance of this permit is based on the information, specifications, and other data submitted by the applicant. The applicant is responsible for the accuracy of the information and for obtaining all necessary permits from other agencies. The applicant shall be responsible for obtaining all necessary permits from other agencies. The applicant shall be responsible for obtaining all necessary permits from other agencies.

PERMIT NUMBER: [blank]  
APPROVED DATE: [blank]  
BY: ENGLISH CUBILLA

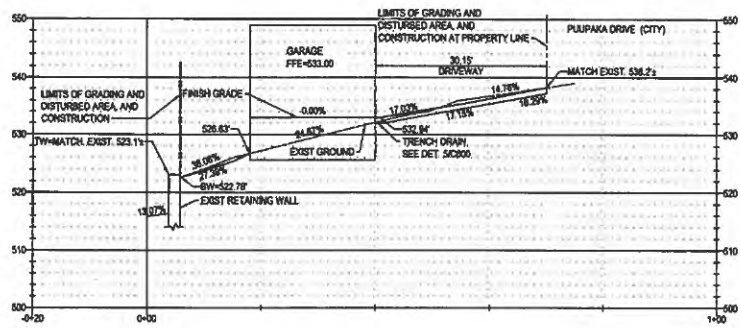
- PALICAMA PERMITS THIRD PARTY CERTIFICATION
- SOILS CODE
  - ELECTRICAL CODE
  - MECHANICAL CODE
  - PLUMBING CODE
  - STRUCTURAL, SEWERAGE/SOLID WASTE

REVISIONS BY

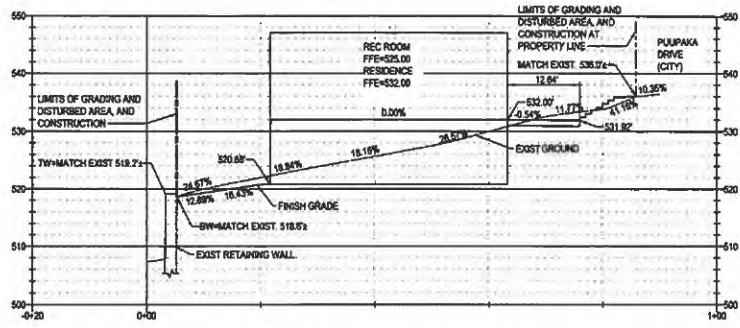
NO.	DATE	BY

THIS DRAWING IS THE PROPERTY OF THE CITY AND COUNTY OF HONOLULU. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF THE CITY AND COUNTY OF HONOLULU IS STRICTLY PROHIBITED. ANY VIOLATION OF THIS POLICY WILL BE SUBJECT TO PROSECUTION.

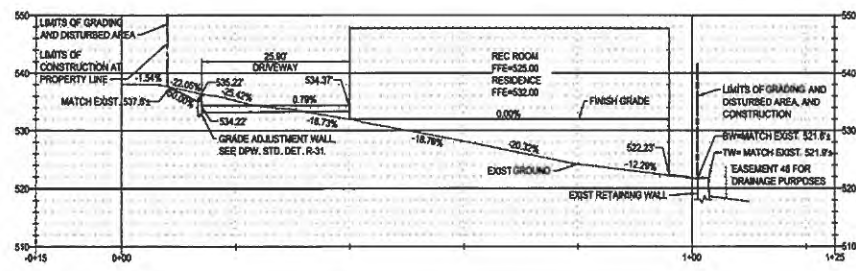
DATE: 10/22/2021  
DRAWN BY: [signature]  
CHECKED BY: [signature]  
SCALE: AS SHOWN



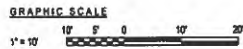
1 SECTION 1  
SCALE: 1" = 10'



2 SECTION 2  
SCALE: 1" = 10'



3 SECTION 3  
SCALE: 1" = 10'



RESIDENCE 3160 PUUPAKA UNIT 1  
NEW SINGLE-FAMILY DWELING  
3160 PUUPAKA DRIVE UNIT 1 HAWAII  
TAX MAP REF: (1) 2-2-047-007



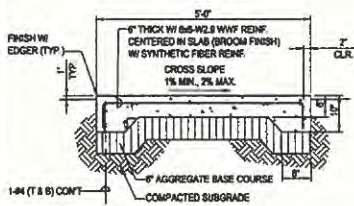
SITE SECTIONS  
1

Date: OCT 2021  
Scale: AS NOTED  
Design By: CB  
Drawn By: AY  
Sheet No.:

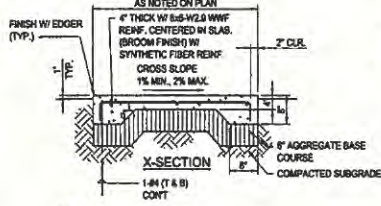
C500

Sheet: -- of X

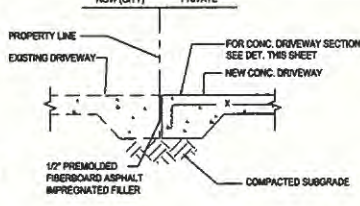
NO.	DATE	FILED	BY



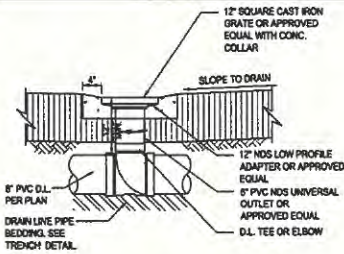
**1 CONCRETE PAVEMENT DETAIL**  
SCALE: 3/4" = 1'-0"



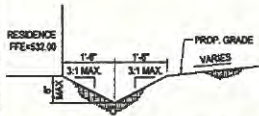
**2 CONCRETE WALKWAY DETAIL**  
SCALE: 3/4" = 1'-0"



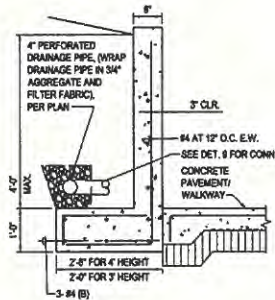
**3 CONC. TO CONC. CONNECTION DETAIL**  
SCALE: 1" = 1'-0"



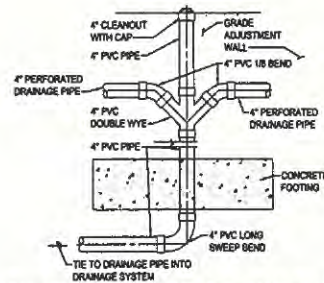
**4 AREA DRAIN DETAIL**  
NOT TO SCALE



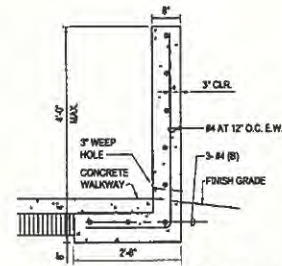
**5 TYPICAL SWALE DETAIL**  
NOT TO SCALE



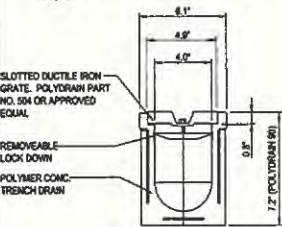
**7 GRADE ADJUSTMENT WALL DETAIL 1**  
SCALE: 3/4" = 1'-0"



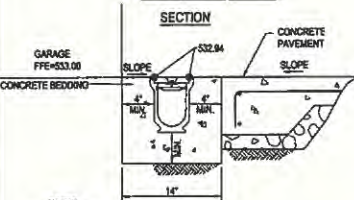
**8 DRAIN CLEANOUT FOR BACK OF WALL DRAIN DETAIL**  
SCALE: 3/4" = 1'-0"



**9 WALL DETAIL 2 DETAIL**  
SCALE: 3/4" = 1'-0"



**6 TRENCH DRAIN DETAIL**  
SCALE: 1-1/2" = 1'-0"



NOTES:  
1 INCLUDE 4" OUTLET AND END PLATE.

CITY AND COUNTY OF HONOLULU  
DEPARTMENT OF PLANNING AND PERMITTING  
**APPROVED**  
This document is the property of the City and County of Honolulu. It is loaned to you for your use only. It is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the City and County of Honolulu. If you have any questions regarding this document, please contact the Department of Planning and Permitting at (808) 535-2000.  
APPROVED DATE: 04/20/22  
BY: Elizabeth C. ...

HAWAIIAN PERMITS  
THIRD PARTY CERTIFICATION  
 MECHANICAL CODE  ELECTRICAL CODE  
 MECHANICAL CODE  MECHANICAL CODE  
 MECHANICAL CODE  MECHANICAL CODE

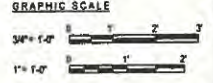
REVISIONS	BY

RESIDENCE 3160 PUIUPAKA UNIT 1  
NEW SINGLE-FAMILY DWELING  
3160 PUIUPAKA DRIVE UNIT 1 HAWAII  
TAX MAP KEY: (1) 2-2-047-007

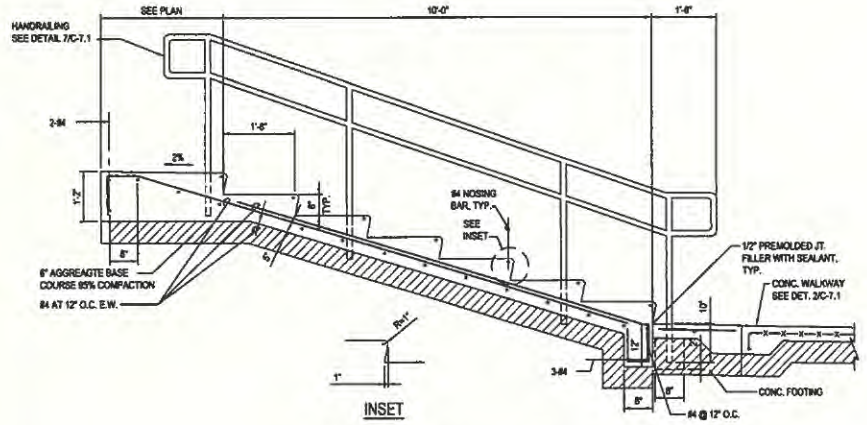
Engineering & Architecture, Inc.  
Professional Engineer  
Professional Architect  
Professional Surveyor  
Professional Land Surveyor  
Professional Geologist  
Professional Environmental Engineer  
Professional Environmental Scientist  
Professional Environmental Planner  
Professional Environmental Analyst  
Professional Environmental Scientist  
Professional Environmental Planner  
Professional Environmental Analyst

SITE DETAILS 1

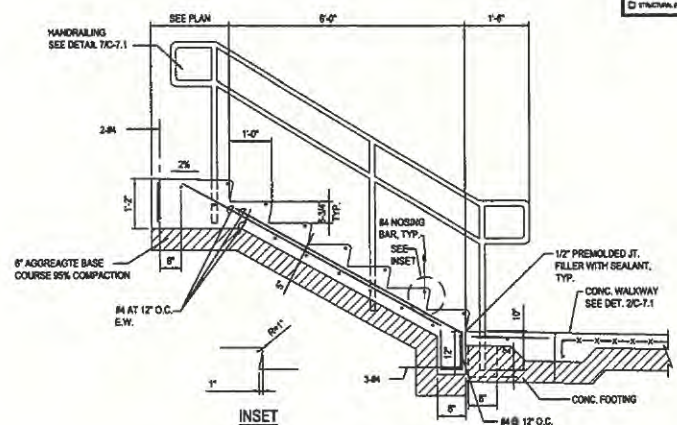
Date: OCT 2021  
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Drawn By: CB  
Checked By: AY



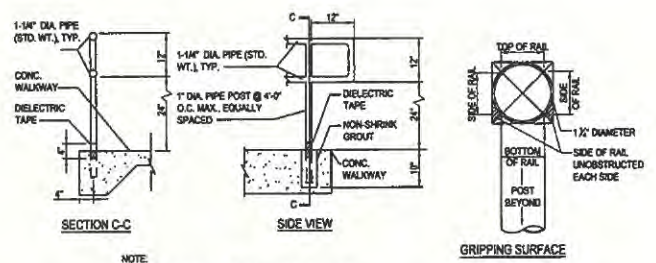
C600  
Sheet 1 of 1



**1 CONCRETE STAIR A DETAIL**  
SCALE: 3/4" = 1'-0"



**2 CONCRETE STAIR B DETAIL**  
SCALE: 3/4" = 1'-0"



- NOTE:**
1. RAILINGS SHALL BE GALV. STEEL AND PRIMED AND PAINTED BLACK.
  2. FULL WELD AND GRIND SMOOTH ALL CONNECTIONS.

**3 STAIR HANDRAILING DETAIL**  
SCALE: 3/4" = 1'-0"

FIELD/AREA FOR THIRD PARTY CERTIFICATION

<input type="checkbox"/> MARKING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> PLUMBING CODE
<input type="checkbox"/> STRUCTURAL, FOUNDATION/PAVEMENT/FOUNDATIONS	

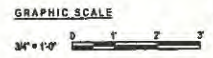
REVISIONS	BY

RESIDENCE 3160 PUIPAKA UNIT 1  
NEW SINGLE-FAMILY DWELING  
3160 PUIPAKA DRIVE UNIT 1 HAWAII  
HONOLULU, HI 96813  
TAX MAP REF. 11-2-3-047-007



**SITE DETAILS 2**

Date: OCT 2021  
Scale: AS NOTED  
Design By: CB  
Drawn By: AY  
Sheet No:



**C601**  
Sheet - of X

**A1 REC. DECK PLAN**  
SCALE 1/8" = 1'-0"



- PERMITS REQUIRED**
- PLUMBING PERMITS
  - MECHANICAL PERMITS
  - ELECTRICAL PERMITS
  - STRUCTURAL PERMITS (IF APPLICABLE)

**A101**  
REC. DECK  
FLOOR PLAN

**Msquared Design**  
Architecture & Interior Design  
P.O. Box 5224  
Honolulu, HI 96814  
(808) 255-3079 (808) 235-8558 fax

**3160 Residence**  
New Single Family Dwelling  
3160 Puu Paia, Unit 1,  
Honolulu, Hawaii 96817  
TKMK (1) 2-2-047,007

- GENERAL SHEET NOTES**
- 1 VERIFY ALL DIMENSIONS
  - 2 COORDINATE WITH OTHER DISCIPLINES, STRUCTURAL AND ELECTRICAL
  - 3 CABINETS SHALL BE 24" DEEP

**SHEET A101 KEYNOTES**

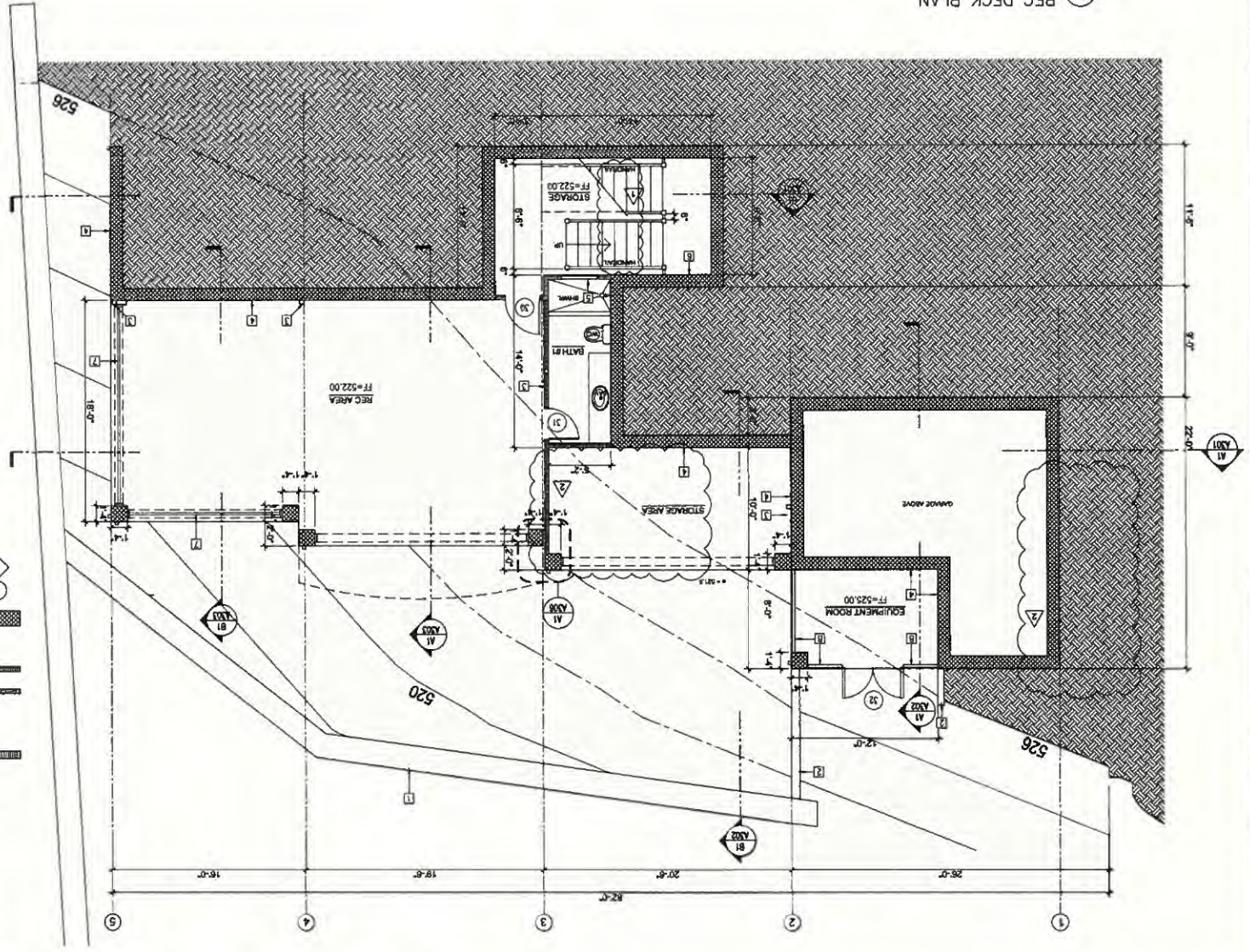
- 1 EXIST RETAINING WALL
- 2 RETAINING WALL
- 3 STD DEFS OVER 1/2" DENGLASS WITH
- 4 STGD OVER STOOD AND STGD ON CHU.
- 5 3/4" W. X 1/8" INCH. 2X 4" AFF.
- 6 1/2" CYP BD. FINISH W/IN STAIRWELL
- 7 3'-0" H ALUMINUM RAIL
- 8 ALUMINUM LOUVERED SCREENING COOL FINISH.

**GENERAL SHEET NOTES**

- 2x6 STD WALL WITH 1/2" CYP BD. INSIDE AND 1/2" DENGLASS OVER PLYWOOD SHEATHING WITH STOOD AND INTERIOR WALLS 1/2" CYP BD. EACH SIDE
- 2x4 STD WALL WITH 1/2" CYP BD. EACH SIDE
- 2x4 NO STD WALL WITH 1/2" CYP BD INSIDE AND 1/2" DENGLASS WITH STOOD AND OUTSIDE
- CHU WALL SET STRUCTURAL FOR W/TH. STD OVER STOOD AND STOOD ON CHU.
- DOOR TAG
- WINDOW TAG

**LEGEND**

- BUILDING REVIEW 12/03/2021
- BUILDING REVIEW 03/28/2022



**APPROVED**  
CITY AND COUNTY OF HONOLULU  
DEPARTMENT OF PLANNING AND PERMITTING

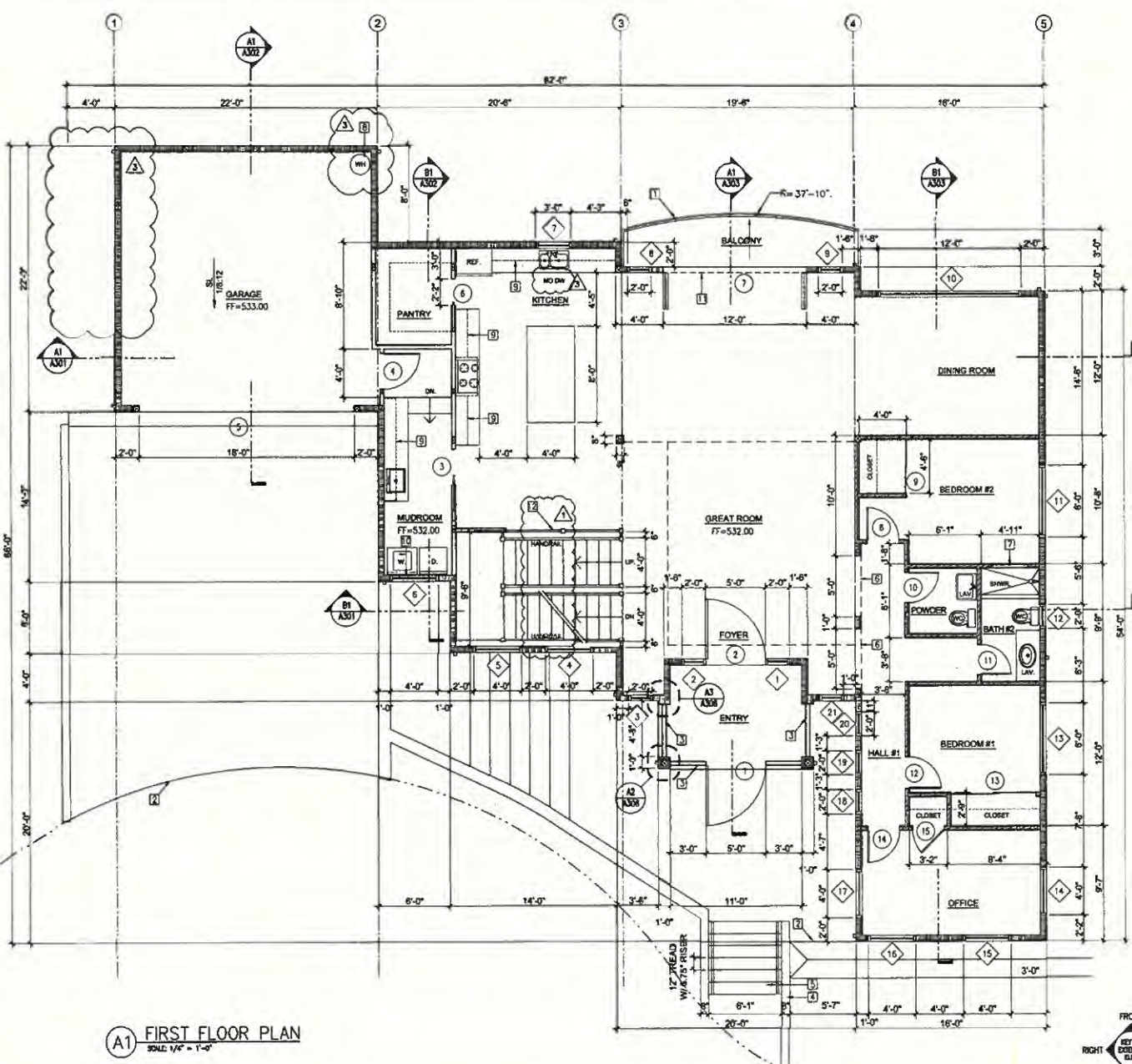
**APPROVED**  
HONOLULU, HAWAII  
DATE: 03/28/2022

**APPROVED**  
CITY AND COUNTY OF HONOLULU  
DEPARTMENT OF PLANNING AND PERMITTING

**APPROVED**  
HONOLULU, HAWAII  
DATE: 03/28/2022

BUILDING REVIEWER 12/03/2021  
 BUILDING REVIEWER 12/16/2021 THIS REVIEW  
 03/28/2022

**MARCO MATELOS**  
 LICENSED PROFESSIONAL ARCHITECT  
 No. 7913  
 HAWAII, U.S.A.  
 CIP 42022



**LEGEND**

- 2x6 2x6 STUD WALL WITH 1/2" GYP BD. INSIDE AND STO DEFS ON 1/2" DENGLASS OVER PLYWOOD SHEATHING WITH STOGLUARD. INTERIOR WALLS 1/2" GYP BD. EACH SIDE.
- 2x4 2x4 STUD WALL WITH 1/2" GYP BD. EACH SIDE.
- 1 DOOR TAG.
- 1 WINDOW TAG.

**GENERAL SHEET NOTES**

- 1 VERIFY ALL DIMENSIONS.
- 2 COORDINATE WITH OTHER DISCIPLINES, STRUCTURAL AND ELECTRICAL.
- 3 KITCHEN CABINETS SHALL BE 24" DEEP.

**SHEET A102 KEYNOTES**

- 1 36"H. METAL RAIL.
- 2 EDGE OF SLAB.
- 3 ALUMINUM LOUVERED SCREENING. CODA ARCHITECTURAL, ARIASOLGI, BLACK ANODIZED FINISH..
- 4 8" CMU WALLS WITH STO FINISH.
- 5 CONCRETE STAIRS.
- 6 ARCH ABOVE.
- 7 36"W. X 18"H. NICHE, 36" AFF.
- 8 SOLAR WATER HEATER (M2020-0040)
- 9 CABINET ABOVE.
- 10 LAUNDRY BOX.
- 11 FLEETWOOD ACHE-DUCT THRESHOLD WITH DRAIN TO EXTERIOR.
- 11 3" GUARDRAIL.

**A1 FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

PALEKANA PERMITS  
 THIRD PARTY CERTIFICATION

BUILDING CODE     ELECTRICAL CODE  
 MECHANICAL CODE     RESIDENTIAL CODE  
 STRUCTURAL (NON-SHOLE-FAMILY DWELLINGS)

**3160 Residence**  
 New Single Family Dwelling  
 3160 Puu Paka, Unit 1,  
 Honolulu, Hawaii 96817  
 TMK (1) 2-3-047:007

Architecture • Interior Design  
 P.O. Box 5229  
 Kaneohe, HI 96744  
 (808) 235-3879 (808) 235-2656 fax

**M Squared Design**

DATE: 10/15/2021  
 SCALE: AS NOTED  
 DRAWN BY:  
 JOB NO.:  
 SHEET TITLE: FIRST FLOOR PLAN  
 A102 OF

CITY AND COUNTY OF HONOLULU  
 DEPARTMENT OF PLANNING AND PERMITTING  
**APPROVED**  
 The issuance hereunder of any permit or approval of plans, specifications, and other data shall not be construed to be a promise for or approval of any violation of any provisions of this code or of any other law. The issuance of a permit shall not amount to a building official's assurance regarding the correctness of any of the plans and specifications or upon making building quantities which are the responsibility of the permittee and the applicant and the applicant or all other laws, nor shall it constitute an assurance of any other person and the responsibility of permits shall not be construed to constitute a license for any person or any other person to practice any profession or business.  
 PERMIT NUMBER: 080622  
 APPROVED DATE: 08/02/2021  
 CITY OF HAWAII

▲ BUILDING REVIEWER  
 12/03/2021  
 ▲ BUILDING REVIEWER  
 03/28/2022

**MARY H. MATSUI**  
 LICENSED PROFESSIONAL ARCHITECT  
 No. 785  
 HAWAII, U.S.A.  
 EXP. 03/02/22  
 I hereby certify that the above is a true and correct copy of the original as submitted to me and that I am a duly licensed professional architect in the State of Hawaii.  
 MARY H. MATSUI  
 ARCHITECT  
 3160 PUA PENA, UNIT 1, HONOLULU, HAWAII 96817  
 (808) 253-2658 FAX  
 (808) 253-3879 (808) 253-2658 FAX

**LEGEND**

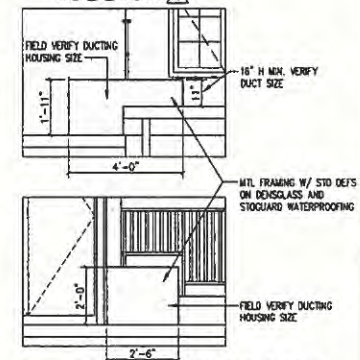
- 2x6 STUD WALL WITH 1/2" GYP BD. INSIDE AND STO DEFS ON 1/2" DENSGLOSS OVER PLYWOOD SHEATHING WITH STUOGUARD, INTERIOR WALLS 1/2" GYP BD. EACH SIDE.
- 2x4 STUD WALL WITH 1/2" GYP BD. EACH SIDE.
- 2x4 STUD WALL 8'-0" H.
- 1 DOOR TAG.
- 1 WINDOW TAG.

**GENERAL SHEET NOTES**

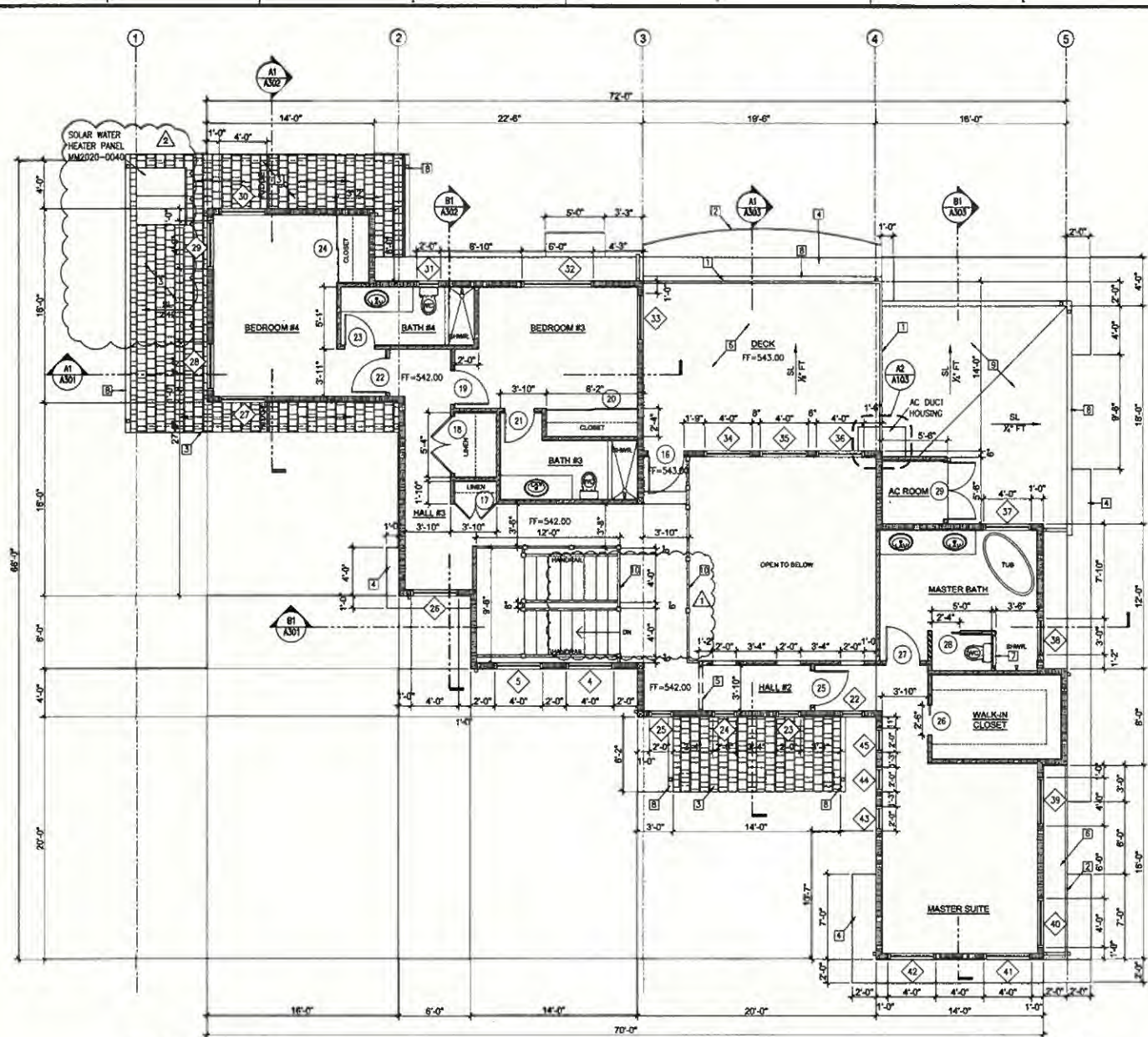
- 1 VERIFY ALL DIMENSIONS.
- 2 COORDINATE WITH OTHER DISCIPLINES, STRUCTURAL AND ELECTRICAL.
- 3 KITCHEN CABINETS SHALL BE 24" DEEP.

**SHEET A103 KEYNOTES**

- 1 36" H. METAL RAIL.
- 2 LANAI BELOW.
- 3 ASPHALT SINGLE OVER 60 MIL PEEL AND STICK MEMBRANE ON PLYWOOD SHEATHING.
- 4 SELF ADHERING MODIFIED BITUMEN ROOF SYSTEM.
- 5 ARCH ABOVE.
- 6 NEOGARD PEDA-GARD URETHANE WATERPROOFING WITH FLOOR FINISH PER SCHEDULE.
- 7 30"W. X 18"H. NICHE, 38" AFF.
- 8 COOPER CUTTER.
- 9 SELF ADHERING MODIFIED BITUMEN ROOF OVER TAPERED POLY ISO FOAM.
- 10 3"H. GUARDRAIL.



PALEKANA PERMITS THIRD PARTY CERTIFICATION	
<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> RESIDENTIAL CODE
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	



**A1 SECOND FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"



**Architecture • Interior Design**  
 P.O. Box 5228  
 KAWAHAU, HI 96744  
**M Squared Design**  
 (808) 253-3879 (808) 253-2658 FAX

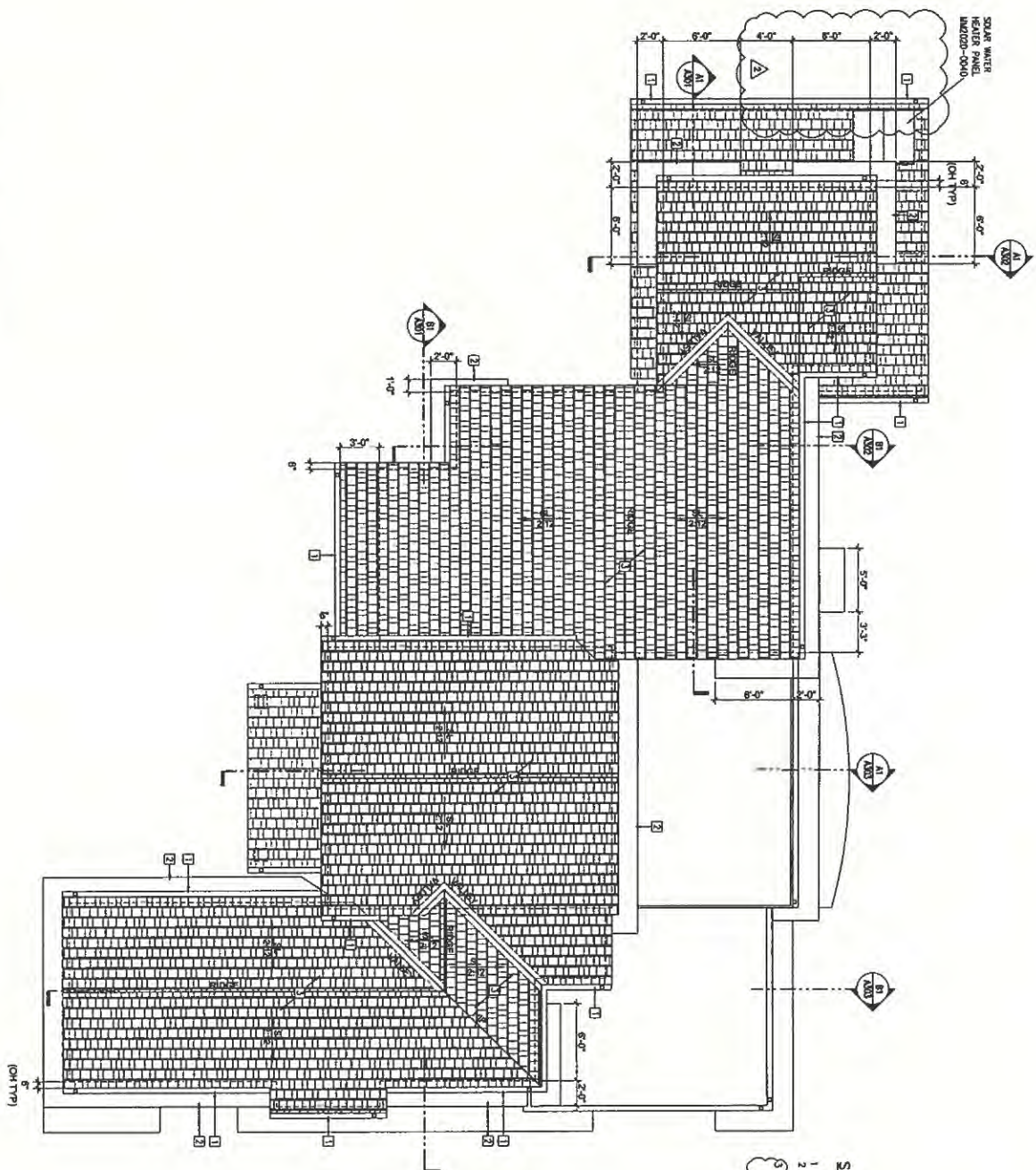
DATE: 10/15/2021  
 SCALE: AS NOTED  
 DRAWN BY:  
 JOB NO.:  
 SHEET TITLE:  
 SECOND FLOOR PLAN

**A103**  
 SHEET 07

**3160 Residence**  
 New Single Family Dwelling  
 3160 Pua Pena, Unit 1,  
 Honolulu, Hawaii 96817  
 TMK: (1) 2-2-047:007



**A1**  
**ROOF PLAN**  
 SCALE 1/4" = 1'-0"



- PERMITS**
- PLUMBING PERMITS
  - THIRD PARTY CERTIFICATION
  - MECHANICAL PERMITS
  - ELECTRICAL PERMITS
  - MECHANICAL CODE
  - ELECTRICAL CODE
  - RESIDENTIAL CODE
  - STRUCTURAL ENGINEER/ARCHITECT SEAL

- SHEET A104 KENNOTES**
- 1 COPPER GUTTER
  - 2 SELF ADHERING WOODPANEL SHINGLE ROOF
  - 3 ASPHALT SHINGLE OVER TWO LAYERS 5/8" PLY, 1/2" PEEL AND STICK MEMBRANE ON PLYWOOD SHEATHING.

**BLDG REVIEW**  
 12/03/2011  
**BLDG REVIEW**  
 11/29/2011

CITY AND COUNTY OF HONOLULU  
 DEPARTMENT OF PLANNING AND PERMITTING

**APPROVED**

1/12 OF H.A. 1000

This is to certify that the above described project has been reviewed and approved for the purpose of the City and County of Honolulu, Hawaii. The approval is based on the information provided and does not constitute a warranty of any kind. The approval is subject to the terms and conditions of the applicable laws and regulations. The approval is valid for a period of 180 days from the date of issuance. If the project is not completed within this period, the approval shall expire. The approval is not valid if the project is not completed within the specified time frame. The approval is not valid if the project is not completed within the specified time frame. The approval is not valid if the project is not completed within the specified time frame.

**MARK N. LANTIERE**  
 REGISTERED ARCHITECT  
 No. 10001  
 HAWAII

*[Signature]*

**3160 Residence**  
 New Single Family Dwelling  
 3160 Puu Paka, Unit 1,  
 Honolulu, Hawaii 96817  
 TMK: (1) 2-2-047:007

**MSquared Design**  
 Architecture • Interior Design  
 P.O. Box 5229  
 Kaneohe, HI 96744  
 (808)-235-3679 (808)-235-2856 fax

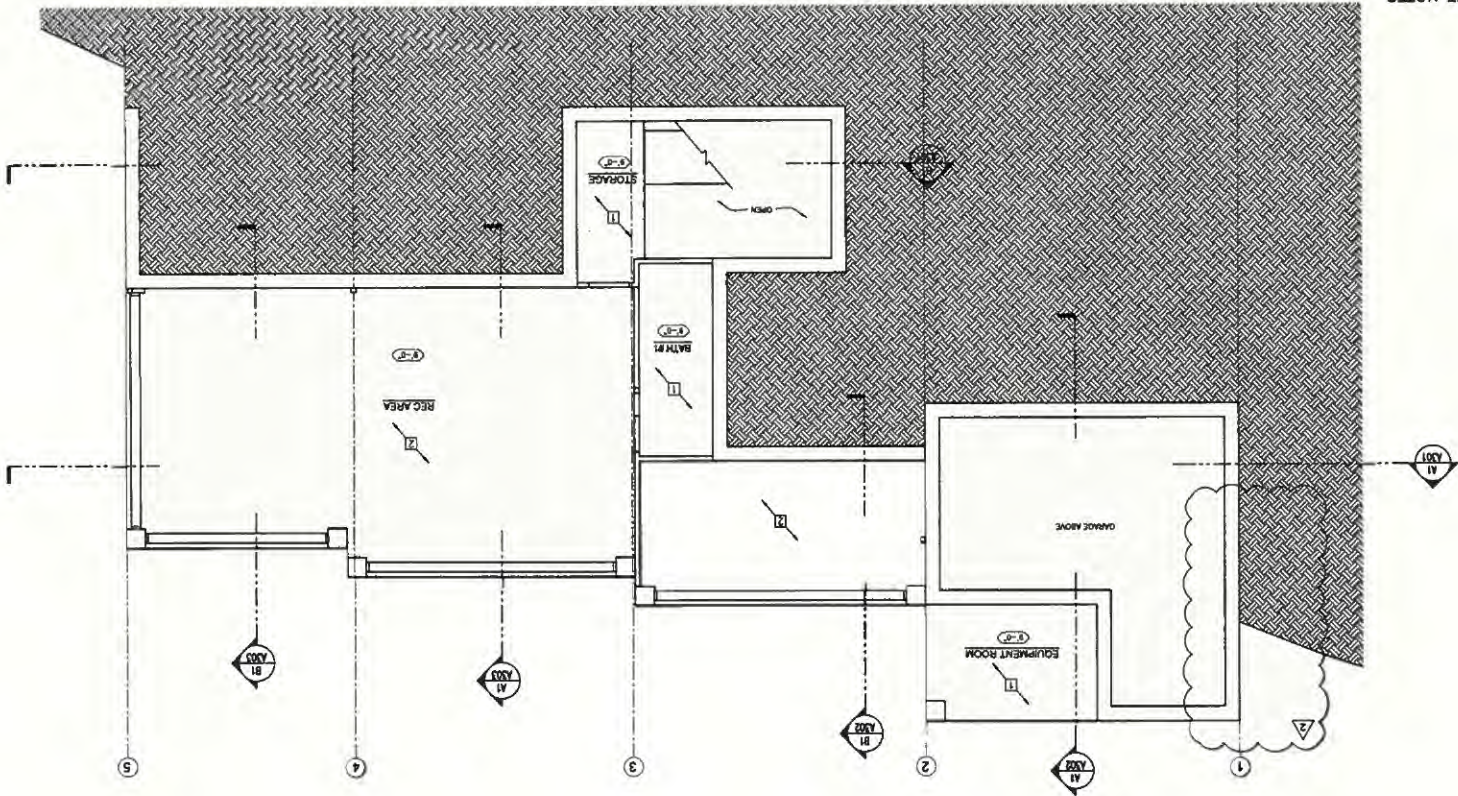
**PERMITS**  
 ROOF PLAN  
**A104**

**SHEET A105 KEYNOTES**

- 1 GYP BD CEILING, PAINTED (TYP)
- 2 ARNSTRONG WOOD HAVEN WOOD PLANK CEILING
- AND ELECTRICAL
- 1 VERIFY ALL DIMENSIONS
- 2 COORDINATE WITH OTHER DISCIPLINES, STRUCTURAL

**GENERAL SHEET NOTES**

**A1** REC DECK REFLECTED CEILING PLAN  
SCALE 1/4" = 1'-0"



- PALEKANA PERMITS
- THIRD PARTY CERTIFICATION
- ELECTRICAL CODE
- MECHANICAL CODE
- BUILDING CODE
- STRUCTURAL (NON-SHORED-FRAME CONSTRUCTION)

DATE: 10/15/2021  
 AS NOTED  
 DRAWN BY:  
 FOR NO.:

**M Squared Design**  
 Architecture & Interior Design  
 P.O. Box 5228  
 Kaneohe, HI 96744  
 (808) 235-3079 (808) 235-3036 fax

**3160 Residence**  
 New Single Family Dwelling  
 3160 Puu Paia, Unit 1  
 Honolulu, Hawaii 96817  
 TMK: (1) 2-2-047-007

*[Signature]*  
 PROJECT ARCHITECT  
 M. SQUARED DESIGN, INC.  
 1001 KALANANAKU AVENUE, SUITE 200  
 HONOLULU, HAWAII 96815  
 LICENSE NO. 10000



**BUILDING REVIEW**  
 03/28/2022

**APPROVED**  
 DEPARTMENT OF PLANNING AND PERMITTING  
 CITY AND COUNTY OF HONOLULU

The enclosed certificate of approval is granted on the condition that the applicant shall comply with all applicable laws, rules, regulations, and ordinances of the City and County of Honolulu, and shall maintain the same in full force and effect until the project is completed. This approval does not constitute a warranty of any kind and shall not be construed as a guarantee of any kind. The Department of Planning and Permitting is not responsible for the accuracy or completeness of the information provided by the applicant. The applicant shall be responsible for the accuracy and completeness of the information provided.

APPROVED DATE: 03/28/2022  
 BY: [Signature]

BUILDING REVIEWER  
03/28/2022

CITY AND COUNTY OF HONOLULU  
DEPARTMENT OF PLANNING AND PERMITTING

**APPROVED**

The Department hereby certifies that the proposed plans, specifications, and other data submitted for review comply with the applicable provisions of the Uniform Building Code and the applicable provisions of the Hawaii Building Code, and that the proposed plans, specifications, and other data submitted for review are in accordance with the applicable provisions of the Uniform Building Code and the applicable provisions of the Hawaii Building Code.

PERMIT NUMBER: [ ]  
APPROVED DATE: 03/28/2022

STATE OF HAWAII  
M. Englebe, Director



MARK N. MATSUOKA  
LICENSED PROFESSIONAL ENGINEER  
HAWAII, U.S.A.  
EXP. 4/30/22

3160 Residence  
New Single Family Dwelling  
3160 Pua Puka, Unit 1,  
Honolulu, Hawaii 96817  
TMNC: (1) 2-2-047-007

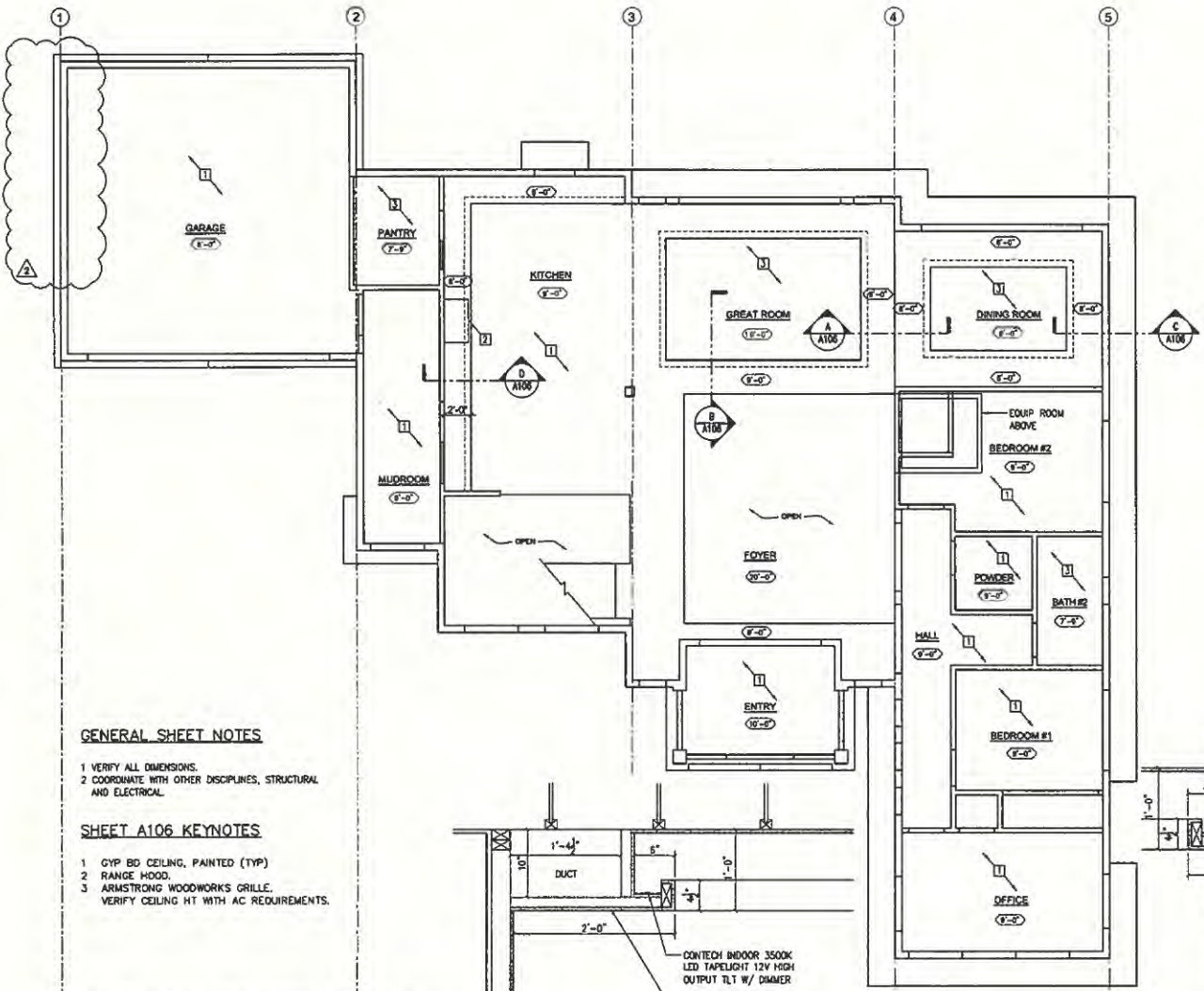
Architecture & Interior Design  
P.O. Box 5228  
Kalaheena, HI 96744  
(808) 235-3070 (808) 235-2658 fax



DATE: 10/15/2021  
SCALE: AS NOTED  
DRAWN BY:  
JOB NO.:

SHEET TITLE:  
FIRST FLOOR REFLECTED CEILING PLAN

A106



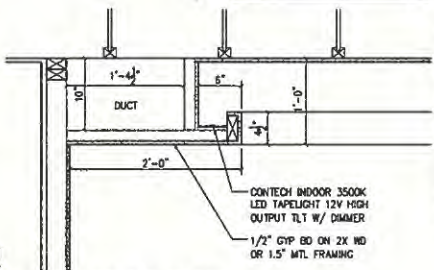
- GENERAL SHEET NOTES**
1. VERIFY ALL DIMENSIONS.
  2. COORDINATE WITH OTHER DISCIPLINES, STRUCTURAL AND ELECTRICAL.

- SHEET A106 KEYNOTES**
1. GYP BD CEILING, PAINTED (TYP)
  2. RANGE HOOD
  3. ARMSTRONG WOODWORKS GRILLE. VERIFY CEILING HT WITH AC REQUIREMENTS.

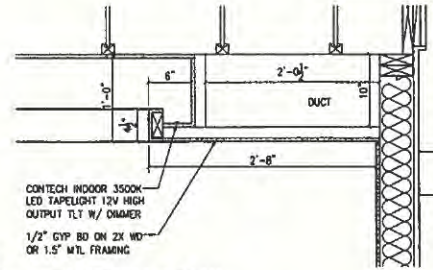
**A1 FIRST FLOOR REFLECTED CEILING PLAN**  
SCALE: 1/4" = 1'-0"



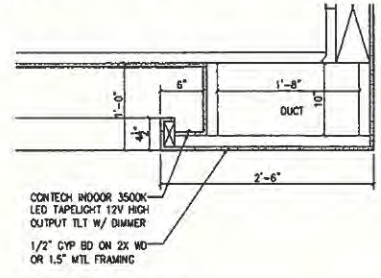
**D SOFFIT DETAIL**  
SCALE: 1/2" = 1'-0"



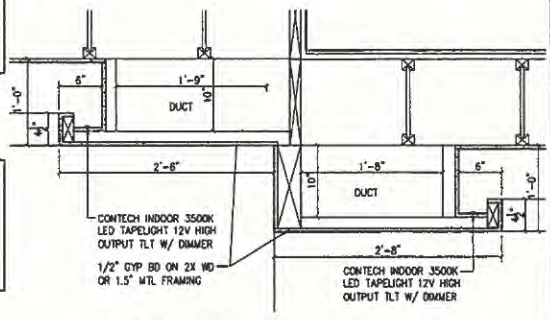
**C SOFFIT DETAIL**  
SCALE: 1/2" = 1'-0"



**B SOFFIT DETAIL**  
SCALE: 1/2" = 1'-0"



**A SOFFIT DETAIL**  
SCALE: 1/2" = 1'-0"



PALEKANA PERMITS  
THIRD PARTY CERTIFICATION

<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> RESIDENTIAL CODE
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	

CITY AND COUNTY OF HONOLULU  
DEPARTMENT OF PLANNING AND PERMITTING

**APPROVED**

The licensed professional of any permit or approval of plans, specifications, and other documents shall not be held liable for a permit fee, or approval fee, any violation of any provisions of the code or of any other law. The issuance of a permit shall not constitute the building official's approval of the building or any other law. The building official shall not be held liable for any violation of any provisions of the code or of any other law. The building official shall not be held liable for any violation of any provisions of the code or of any other law. The building official shall not be held liable for any violation of any provisions of the code or of any other law.

PERMIT NUMBER:   
APPROVED DATE: 08/22/2021

STATE OF HAWAII  
BY: EVELYN CUSACK



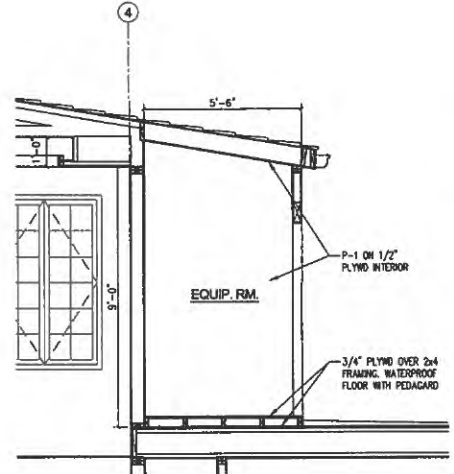
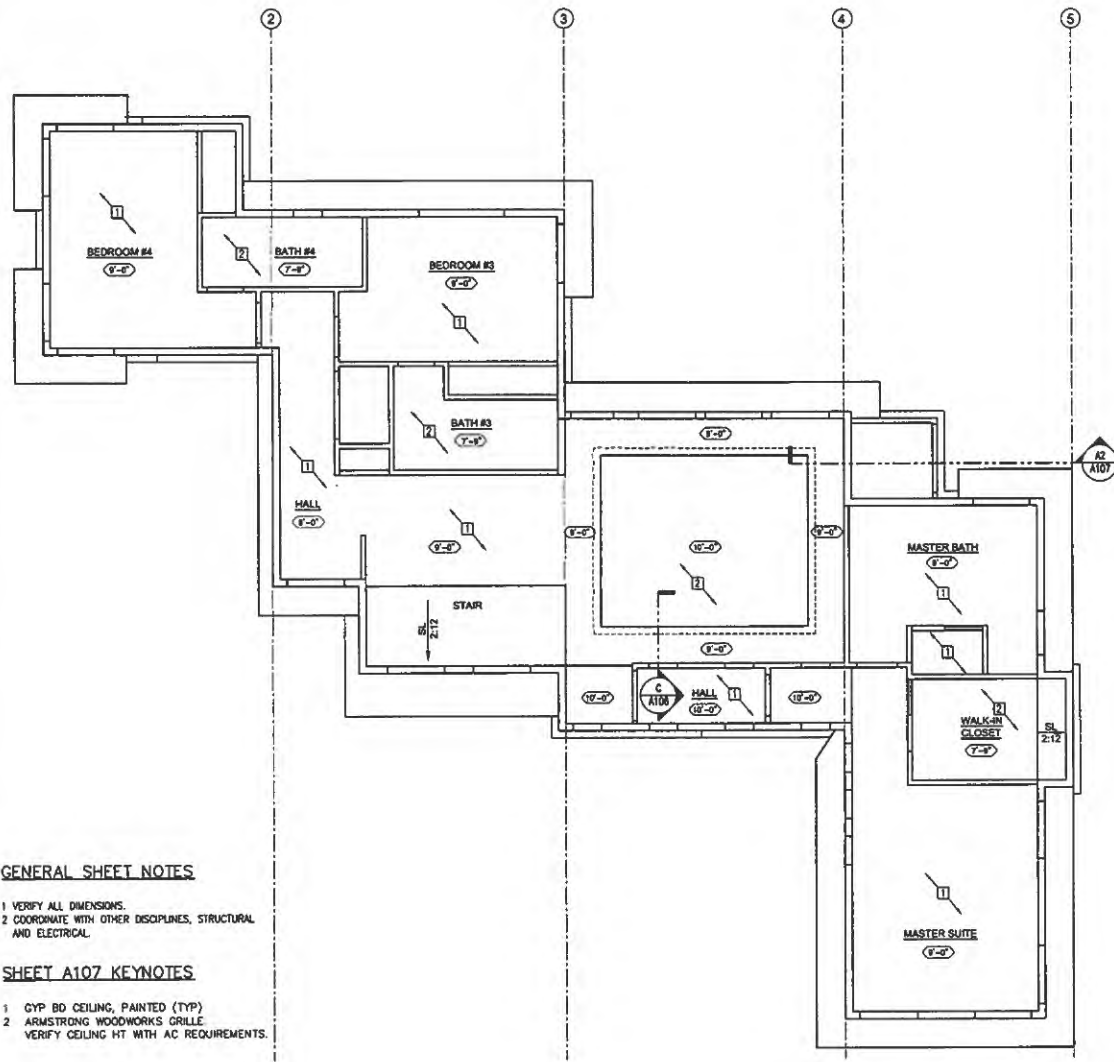
3160 Residence  
New Single Family Dwelling  
3160 Puu Paka, Unit 1,  
Honolulu, Hawaii 96817  
TMK: (1) 2-2-047-007

Architecture • Interior Design  
P.O. Box 2228  
Kalaheena, HI 96744  
(808) 235-3878 (808) 235-3658 fax

DATE: 10/15/2021  
SCALE: AS NOTED  
DRAWN BY:  
JOB NO.:

PROJECT TITLE:  
SECOND FLOOR REFLECTED CEILING PLAN

A107



A2 AC ROOM SECTION  
SCALE: 1/2" = 1'-0"

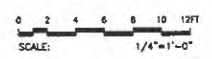
**GENERAL SHEET NOTES**

- 1 VERIFY ALL DIMENSIONS.
- 2 COORDINATE WITH OTHER DISCIPLINES, STRUCTURAL AND ELECTRICAL.

**SHEET A107 KEYNOTES**

- 1 GYP BD CEILING, PAINTED (TYP)
- 2 ARMSTRONG WOODWORKS GRILLE  
VERIFY CEILING HT WITH AC REQUIREMENTS.

A1 2ND FLOOR REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"



PALEKANA PERMITS THIRD PARTY CERTIFICATION	
<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> RESIDENTIAL CODE
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	



CITY AND COUNTY OF HONOLULU  
 DEPARTMENT OF PLANNING AND PERMITTING  
**APPROVED**

The issuance hereof is not a guarantee of the accuracy, completeness, and approval of the information provided herein. It is the responsibility of the applicant to provide accurate and complete information and to obtain all necessary permits from the appropriate agencies. The City and County of Honolulu does not assume any liability for any damage or loss resulting from the use of this information. The City and County of Honolulu reserves the right to modify or cancel this approval at any time without notice and without liability to the applicant.

PERMIT NUMBER:  
 APPROVED DATE: 12/03/2021  
 BY: E. S. CABRERA

BUILDING REVIEWER  
 12/03/2021



3160 Residence  
 New Single Family Dwelling  
 3160 Puii Paka, Unit 1,  
 Honolulu, Hawaii 96817  
 TMK: (1) 2-2-047:007

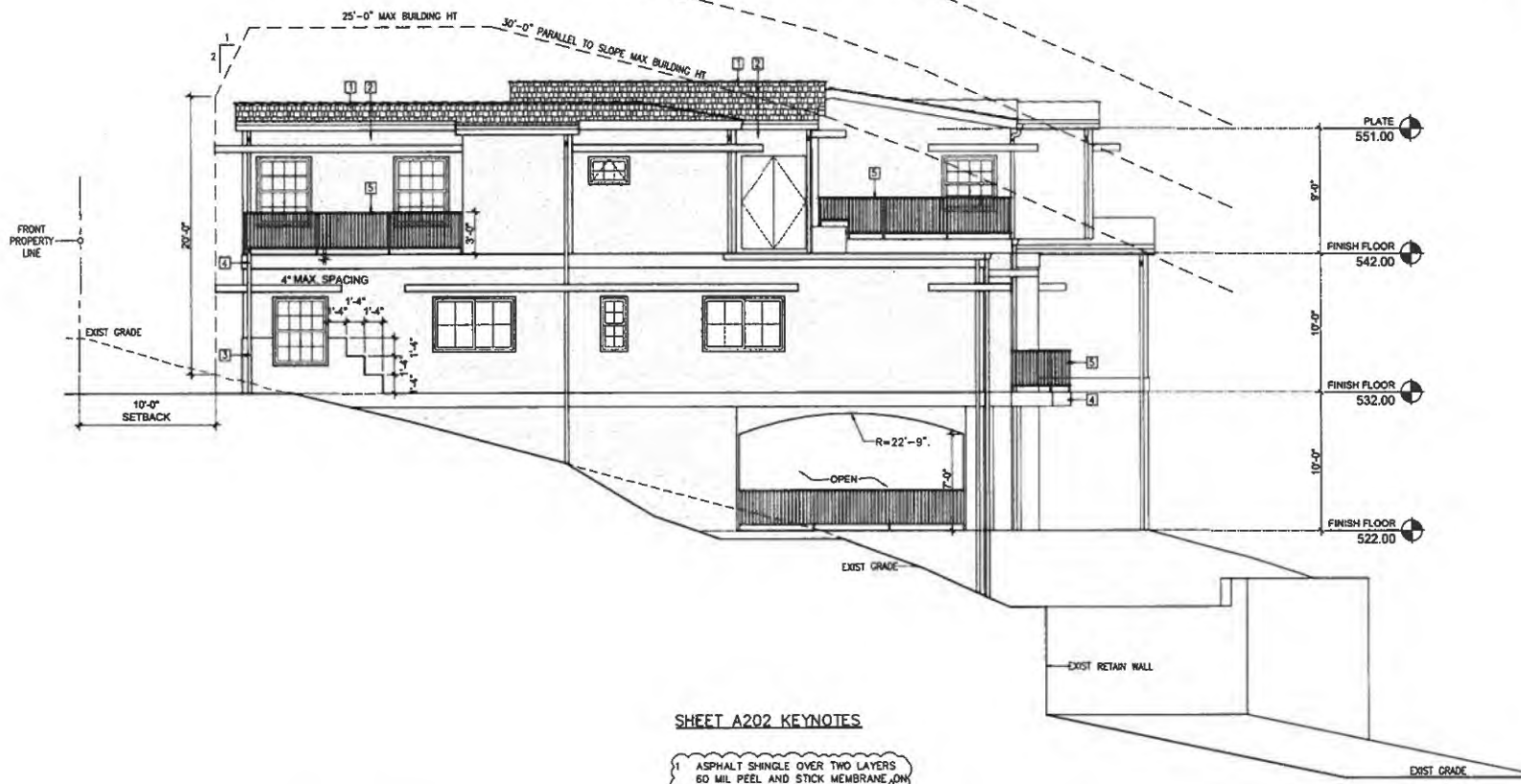
Architecture • Interior Design  
 P.O. Box 5228  
 Honolulu, HI 96814  
 (808) 235-3678 (808) 235-2666 fax



DATE: 10/15/2021  
 SCALE: AS NOTED  
 DRAWN BY:  
 JOB NO.:

SHEET TITLE: RIGHT ELEVATION

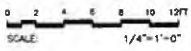
A202



**SHEET A202 KEYNOTES**

- 1 ASPHALT SHINGLE OVER TWO LAYERS 60 MIL PEEL AND STICK MEMBRANE ON PLYWOOD SHEATHING.
- 2 STO DEFS ON 1/2" DENSGLASS WITH STUCCO ON PLYWOOD SHEATHING.
- 3 STO DEFS ON EPS FOAM BASE.
- 4 STO DEFS ON EPS FOAM BELLY BAND.
- 5 36" H. ALUMINUM RAILING.

**A1 RIGHT ELEVATION**  
 SCALE: 1/4" = 1'-0"



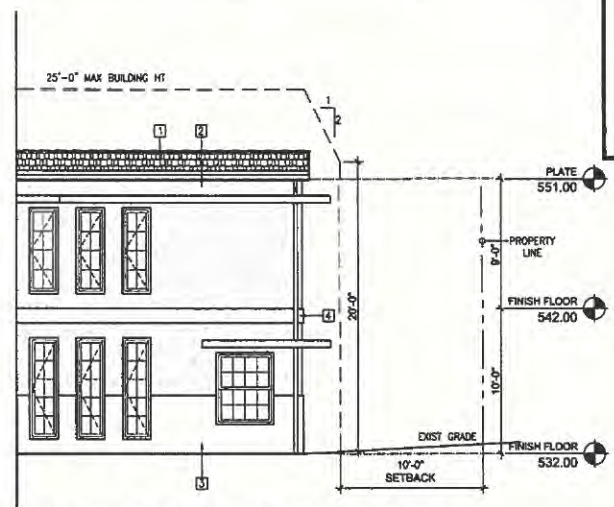
PALEKANA PERMITS THIRD PARTY CERTIFICATION	
<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> RESIDENTIAL CODE
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	



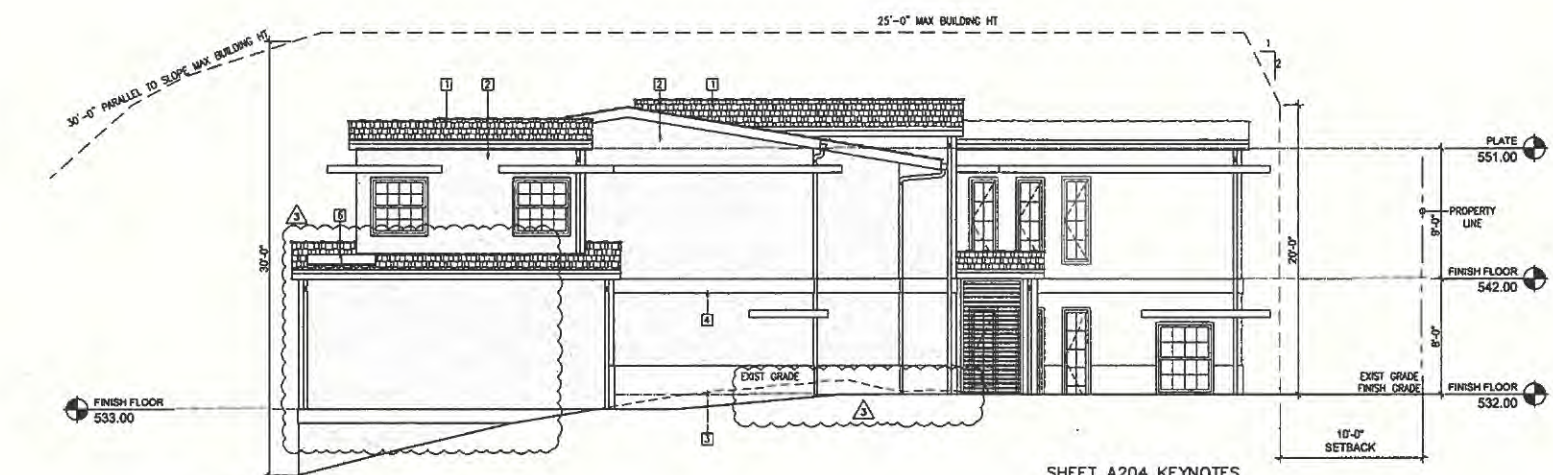
CITY AND COUNTY OF HONOLULU  
 DEPARTMENT OF PLANNING AND PERMITTING  
**APPROVED**  
 This is the final approval of any permit or approval of plans, specifications, and other documents and shall not be construed to be a contract for, or approval of, any violation of any provisions of the code of any other law. The licensee of a permit shall not be deemed to be liable for any violation of any provisions of the code of any other law. The licensee of a permit shall not be deemed to be liable for any violation of any provisions of the code of any other law. The licensee of a permit shall not be deemed to be liable for any violation of any provisions of the code of any other law.  
 PERMIT NUMBER:  
 APPROVED DATE: 06/09/22  
 STATE OF HAWAII  
 BY: EUGENE ODOGBO

△ BUILDING REVIEWER  
 12/03/2021  
 △ CE3 REVIEW  
 03/28/2022  
 △ BUILDING REVIEWER  
 03/28/2022

MARK H. MATSUMI  
 LICENSED PROFESSIONAL ARCHITECT  
 No. 758  
 HAWAII, U.S.A.  
 EXP. 4/30/22  
 I am the registered professional architect for the project described herein and I am not providing any services for the project described herein that require the services of another professional. I am not providing any services for the project described herein that require the services of another professional. I am not providing any services for the project described herein that require the services of another professional.

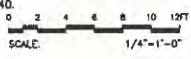


(A1) LEFT ELEVATION BEYOND THE ENTRY  
 SCALE: 1/4" = 1'-0"



(A1) LEFT ELEVATION  
 SCALE: 1/4" = 1'-0"

- SHEET A204 KEYNOTES**
- 1 ASPHALT SHINGLE OVER 60 TWO LAYERS MIL PEEL AND STICK MEMBRANE ON PLYWOOD SHEATHING
  - 2 STO DEFS ON 2" DENSGLASS WITH STOGUARD ON PLYWOOD SHEATHING
  - 3 STO DEFS ON EPS FOAM BASE
  - 4 STO DEFS ON EPS FOAM BELLY BAND
  - 5
  - 6 SOLAR WATER HEATER MM2020-0040



PALEKANA PERMITS THIRD PARTY CERTIFICATION	
<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> RESIDENTIAL CODE
<input type="checkbox"/> STRUCTURAL (PICK SINGLE ED-FAMILY DWELLINGS)	

**3160 Residence**  
 New Single Family Dwelling  
 3160 Puu Paia, Unit 1,  
 Honolulu, Hawaii 96817  
 TMK: (1) 2-2-047:007

Architecture • Interior Design  
 P.O. Box 6228  
 Kaneohe, HI 96744  
 (808) 235-3879 (808) 235-2650 fax

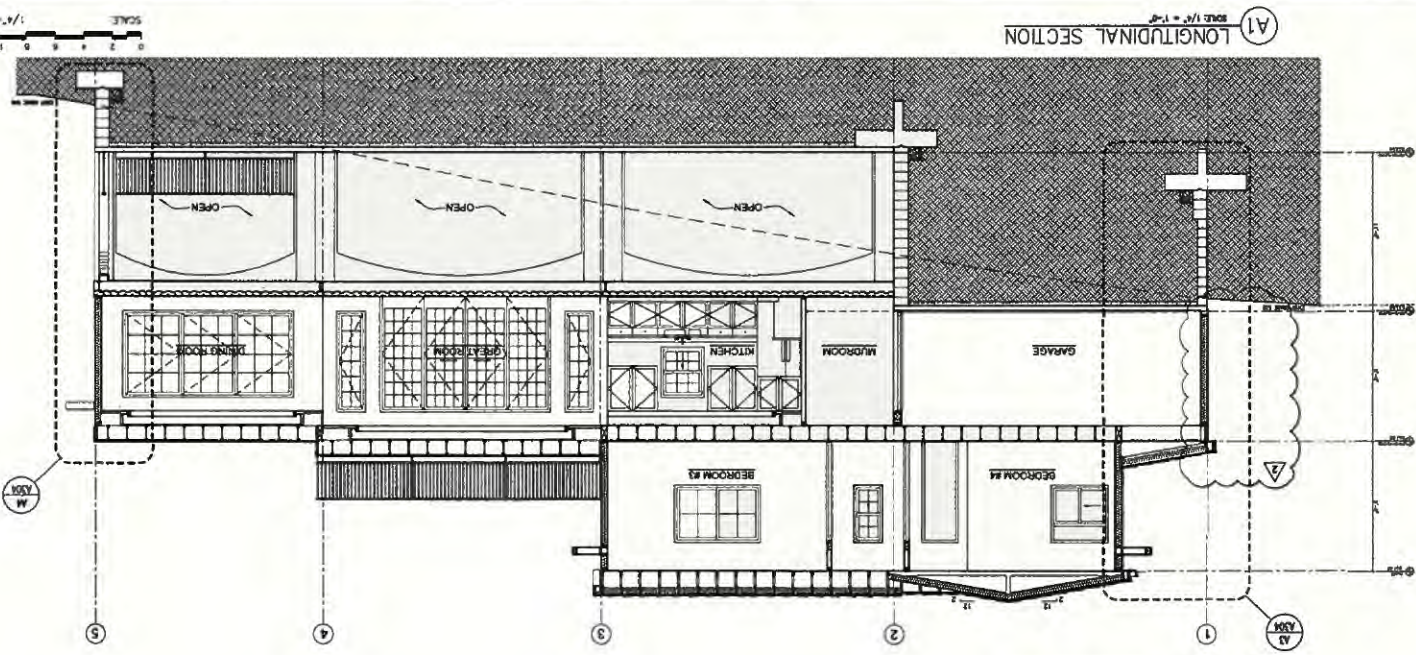


DATE: 10/15/2021  
 SCALE: AS NOTED  
 DRAWN BY:  
 JOB NO.:

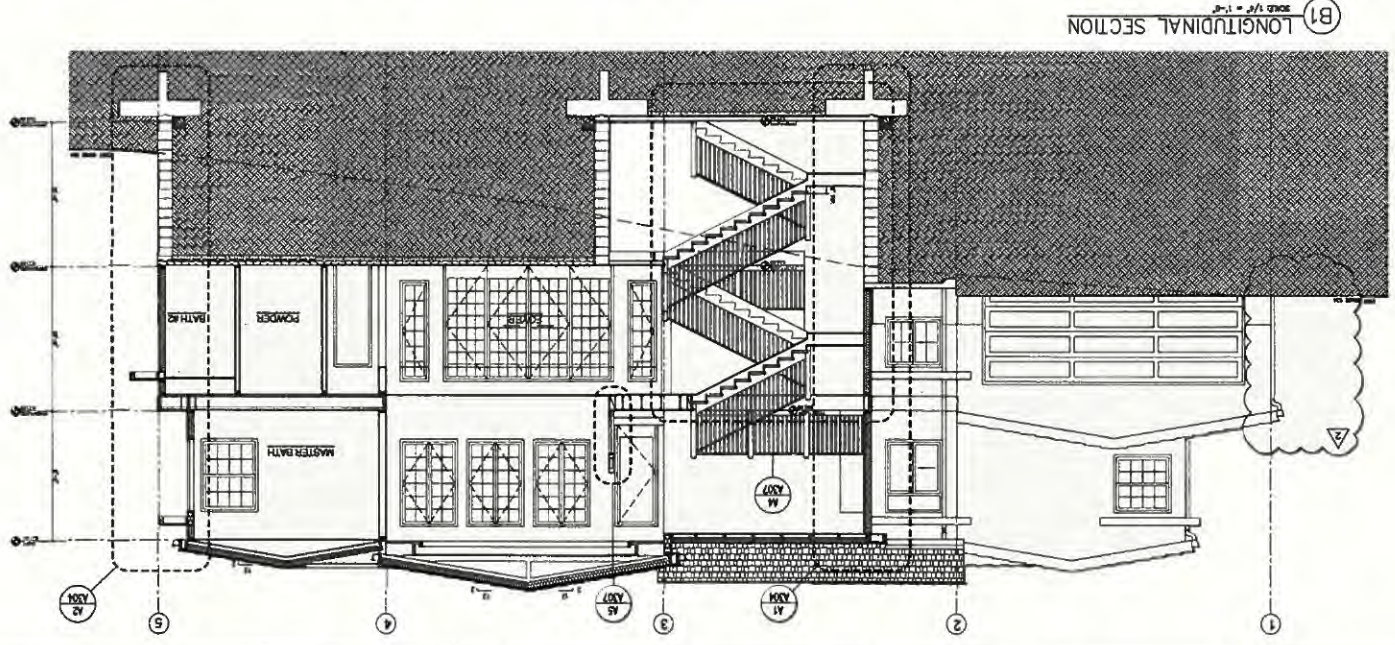
SHEET TITLE: LEFT ELEVATION

A204





A1 LONGITUDINAL SECTION  
SCALE: 1/4" = 1'-0"



B1 LONGITUDINAL SECTION  
SCALE: 1/4" = 1'-0"

- PALEOMA PERMITS  
THIRD PARTY CERTIFICATION
- ELECTRICAL PERMITS/FAMILY DRILLS/CS
  - MECHANICAL DOOR
  - ELECTRICAL DOOR
  - BUILDING CODE
  - ELECTRICAL CODE

SCALE: 1/4" = 1'-0"  
10 12 14 16 18 20

A301

PROJECT TITLE  
BUILDING SECTIONS  
DATE: 10/15/2021  
DRAWN BY:  
SCALE AS NOTED



Architecture • Interior Design  
P.O. Box 6228  
Kaneohe, HI 96744  
(808) 253-5079 (808) 253-2656 fax

3160 Residence  
New Single Family Dwelling  
3160 Puu Paia Unit 1,  
Honolulu, Hawaii 96817  
TMK: (1) 2-2-047-007

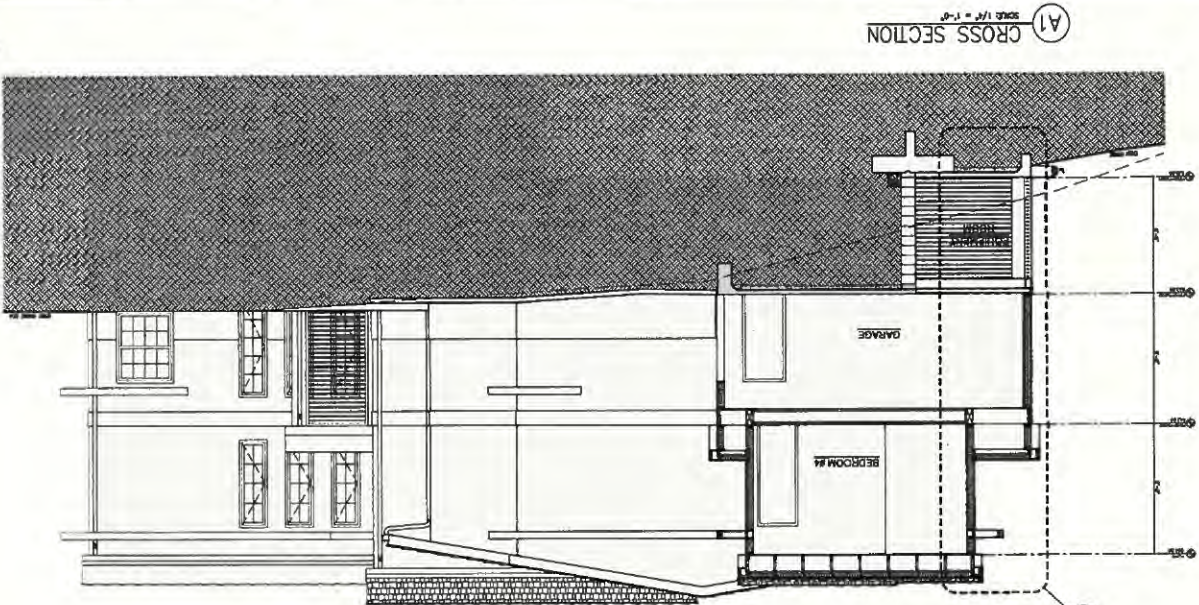
APPROVED  
DATE: 10/15/2021  
BY: [Signature]



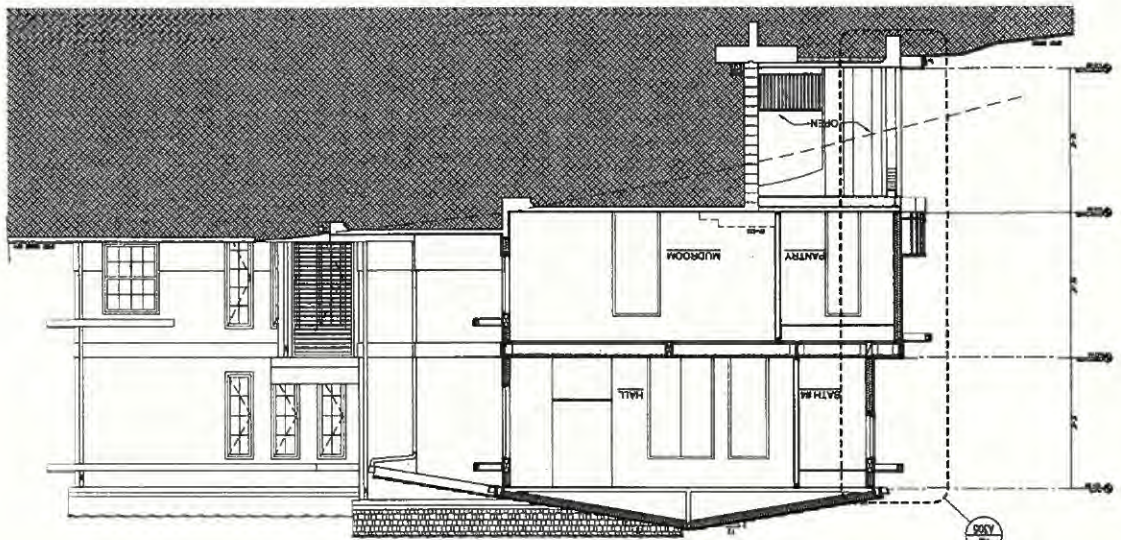
APPROVED  
DEPARTMENT OF PLANNING AND PERMITTING  
CITY AND COUNTY OF HONOLULU

PERMIT NUMBER: [Blank]  
APPROVED DATE: 10/15/2021  
BY: [Signature]

The Department of Planning and Permitting has reviewed the plans and found them to be in compliance with the applicable rules, regulations, and codes of the City and County of Honolulu. This approval is given on the condition that the applicant will comply with all applicable rules, regulations, and codes of the City and County of Honolulu. This approval does not constitute a warranty of any kind by the Department of Planning and Permitting.



A1 CROSS SECTION  
SCALE 1/4" = 1'-0"



B1 CROSS SECTION  
SCALE 1/4" = 1'-0"

- MADEMAN PERMITS  
THIRD PARTY CERTIFICATION
- BUILDING CODE
  - ELECTRICAL CODE
  - MECHANICAL CODE
  - MECHANICAL CODE
  - STRUCTURAL (NON-SHAZ/SHARPLY DIMENSIONS)



A302

DATE: 10/15/2021  
SCALE: AS NOTED  
DRAWN BY:  
REV. NO.:



Architecture • Interior Design  
P.O. Box 8228  
Honolulu, HI 96814  
(808) 255-3079 (808) 255-2666 fax

3160 Residence  
New Single Family Dwelling  
3160 Puu Paka, Unit 1,  
Honolulu, Hawaii 96817  
TMK: (1) 2-2-04 7-0007

THESE PLANS WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND I AM A LICENSED ARCHITECT IN THE STATE OF HAWAII. I HEREBY CERTIFY THAT I AM THE AUTHOR OF THESE PLANS AND THAT I AM NOT PROVIDING ANY SERVICES TO ANY OTHER PARTY IN CONNECTION WITH THESE PLANS.

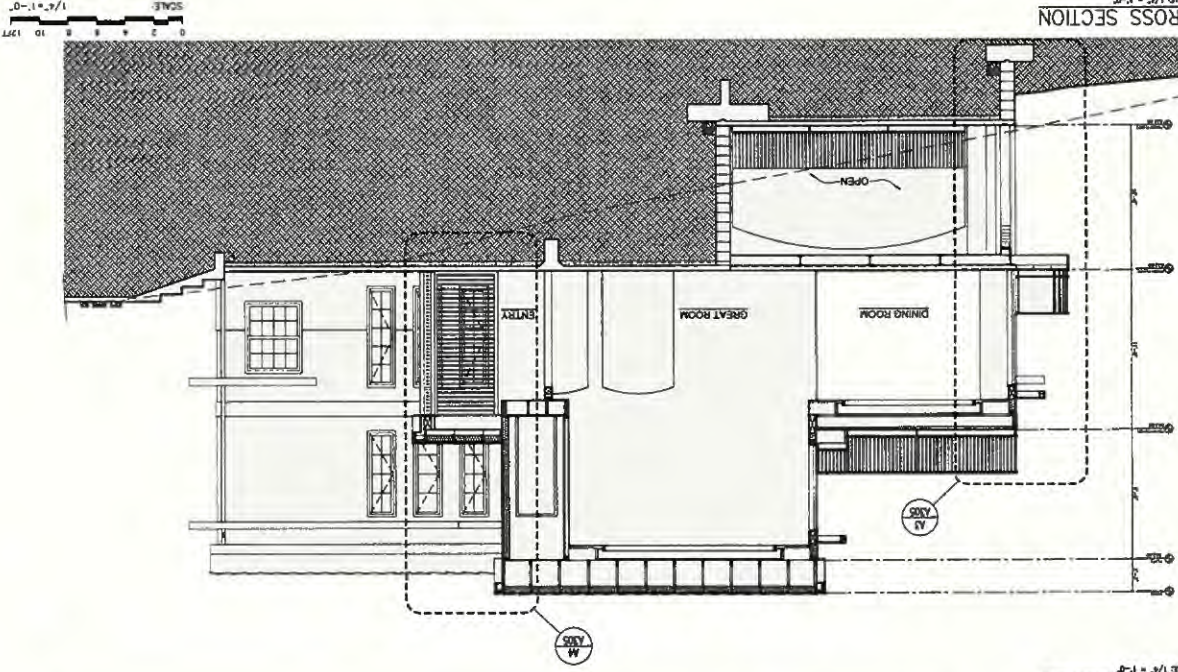


APPROVED  
DEPARTMENT OF PLANNING AND PERMITTING  
CITY AND COUNTY OF HONOLULU

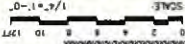
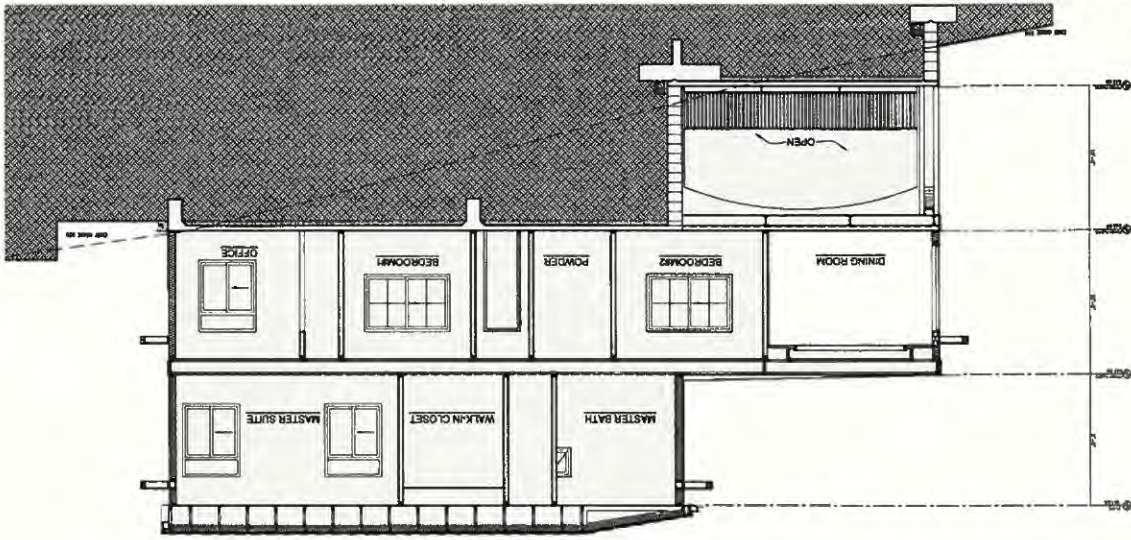
PERMIT NUMBER:  
APPROVED DATE: 08/03/2021

IN WITNESS WHEREOF, I have hereunto set my hand and the seal of the Department of Planning and Permitting, City and County of Honolulu, this 3rd day of August, 2021.

(A1) CROSS SECTION  
SCALE: 1/8" = 1'-0"



(B1) CROSS SECTION  
SCALE: 1/8" = 1'-0"



- PALS/KAMA PERMITS
- THIRD PARTY CERTIFICATION
- BUILDING CODE
- HISTORICAL CODE
- MECHANICAL CODE
- RESIDENTIAL CODE
- STRUCTURAL/MECHANICAL/ELECTRICAL/PLUMBING

DATE (10/13/2011)  
SCALE AS NOTED  
DRAWN BY  
REV. NO.  
SECTION BUILDING SECTIONS  
A303



**Msquared Design**  
Architecture + Interior Design  
P.O. Box 5228  
Honolulu, HI 96814  
(808) 255-2825 (808) 255-2854 fax

**3160 Residence**  
New Single Family Dwelling  
3160 Puu Paia, Unit 1,  
Honolulu, Hawaii 96817  
TMK: (1) 2-2-047-007

*[Handwritten Signature]*  
DATE: 10/13/2011  
PROJECT NO: A303



**APPROVED**  
DEPARTMENT OF PLANNING AND PERMITTING  
CITY AND COUNTY OF HONOLULU

**APPROVED**  
PROJECT NUMBER:  
APPROVED DATE: 09/03/2011  
PROJECT NO: A303  
PLANNING AND PERMITTING DIVISION  
CITY AND COUNTY OF HONOLULU  
1155 KALANIOU AVENUE, SUITE 200  
HONOLULU, HI 96813  
TELEPHONE: 808-525-2300  
FAX: 808-525-2300

BUILDING REVIEWER 12/03/2021  
BUILDING REVIEWER 12/16/2021

MARK N. MATSON  
LICENSED PROFESSIONAL ARCHITECT  
NO. 102  
HAWAII, USA  
CP 45222

**SHEET A304 WALL SECTION KEYNOTES**

- 1 ASPHALT SHINGLE ROOFING ON TWO LAYERS 60 MIL PEEL STICK UNDERLAYMENT OVER T&G PLYWOOD SHEATHING (TYP)
- 2 2X6 FREEZE BD. WITH (5) 1/2" Ø VENT HOLES WITH INSECT SCREEN (TYP)
- 3 PRE-ENGINEERED ROOF TRUSS (SEE STRL DWGS)
- 4 R-19 INSULATION (TYP)
- 5 2X6 FASCIA WITH STO DEFS ON 1/2" DENSGLOSS AND STOGUARD
- 6 RAFTER (SEE STRL DWGS)
- 7 STO DEFS ON 1/2" DENSGLOSS AND STOGUARD. PLYWOOD SHEATHING WHERE INDICATED IN STRUCTURAL
- 8 R-13 INSULATION (TYP)
- 9 2X6 STUD @ 16" O.C. (TYP)
- 10 CONT 30# FELT UNDER SOLE PLATE (TYP)
- 11 1/2" GYP BD (TYP)
- 12 BASE AS SCHEDULED (TYP)
- 13 FLOOR FINISH AS SCHEDULED (TYP)
- 14 CONCRETE SLAB (SEE STRL DWGS)
- 15 10 MIL VAPOR BARRIER (TYP)
- 16 4" BASE COURSE (TYP)
- 17 BEAM SEE STRUCTURAL
- 18 DOOR AS SCHEDULED (TYP)
- 19 WINDOWS AS SCHEDULED (TYP)
- 20 STO DEFS ON 3/4" EPS FOAM BELLY BAND OVER 1/2" DENSGLOSS OR CMU.
- 21 BEAM (SEE STRL DWGS)
- 22 1X8 TRIM (TYP)
- 23 1X8 TRIM (TYP)
- 24 1/2" WR GYP BD (TYP)
- 25 PORCELAIN TILE THIN SET ON 1/2" TILE BACKER BD (TYP)
- 26 5" CONT ALUMINUM GUTTER, K-STYLE (TYP)
- 27 K' HARDIESOFFIT, SMOOTH (TYP)
- 28 1/2" WR GYP BD
- 29 12"X12" CMU COLUMN WITH STO DEFS FINISH
- 30 PERFORATED DRAIN W/HOLES FACING DOWN W/ 12" GRAVEL WRAP W/GEOTEXTILE FABRIC
- 31 CONCRETE FILLED METAL DECK
- 32 STEEL BEAM (SEE STRL DWGS)
- 33 CMU WALL
- 34 TIMBERSTRAND RIM JOIST
- 35 T&G JOIST (SEE STRL DWGS)
- 36 CEILING JOIST (SEE STRL DWGS)
- 37 WATERPROOFING MAMBRANE
- 38 TILE OVER SCHLUTER WATERPROOFING MEMBRANE
- 39 COPPER GUTTER
- 40 STO OVER STOGOLD AND STOGUARD ON CMU
- 41 SELF ADHERING MODIFIED BITUMEN ROOF SYSTEM ON EPS FOAM
- 42 ARMSTRONG WOOD GRILL CEILING
- 43 ARMSTRONG WOOD HAVEN WOOD PLANK CEILING
- 44 3/4" TYPE X GYP BD

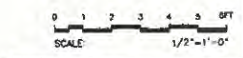
3160 Residence  
New Single Family Dwelling  
3160 Puu Paia, Unit 1,  
Honolulu, Hawaii 96817  
TMK: (1) 2-2-047:007

Architecture • Interior Design  
P.O. Box 3228  
Honolulu, HI 96814  
(808) 255-5078 (808) 255-2835 fax

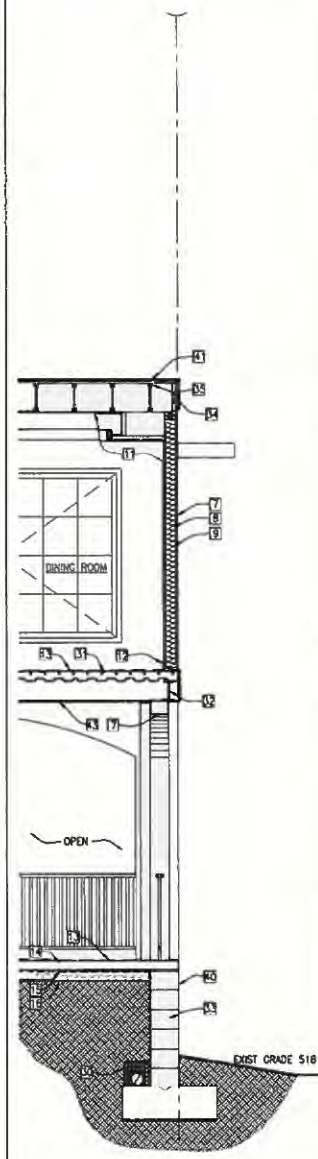
MSquared Design

DATE: 10/15/2021  
SCALE: AS NOTED  
DRAWN BY:  
REV NO.:

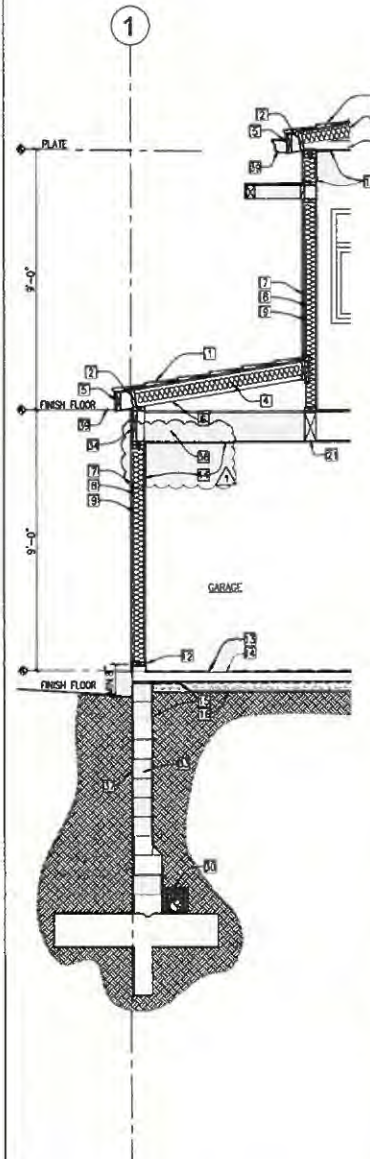
SHEET TITLE: WALL SECTIONS  
A304



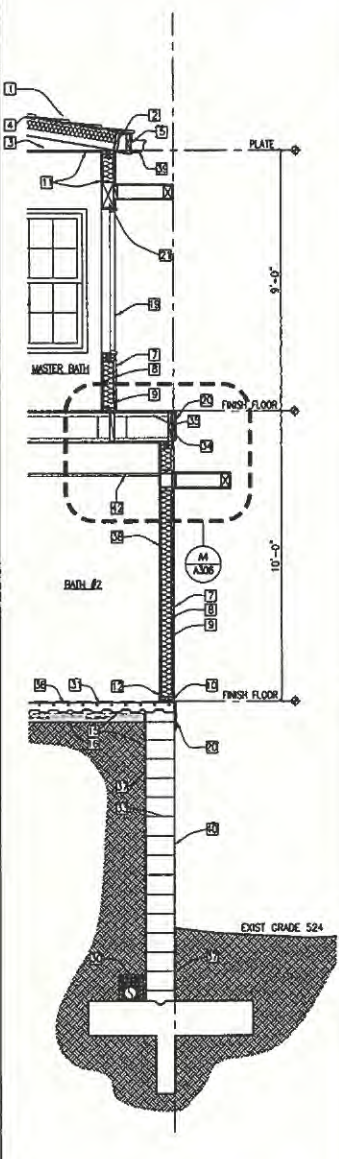
PALEKANA PERMITS THIRD PARTY CERTIFICATION	
<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> RESIDENTIAL CODE
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	



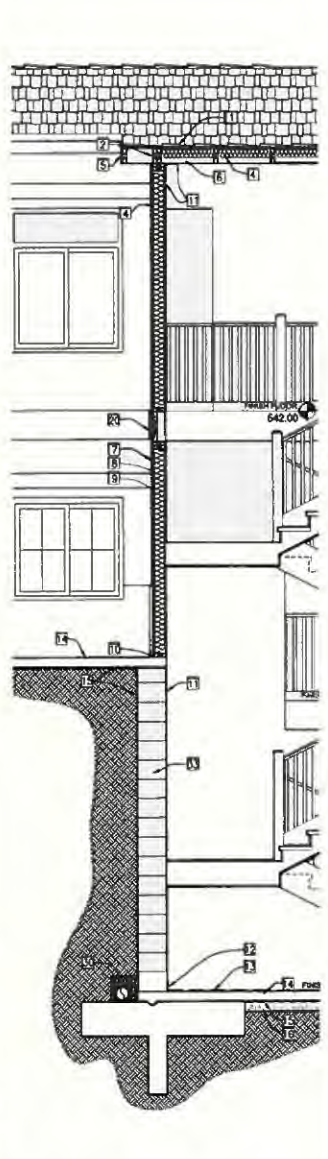
**A4 WALL SECTION**  
SCALE 1/2" = 1'-0"



**A3 WALL SECTION**  
SCALE 1/2" = 1'-0"



**A2 WALL SECTION**  
SCALE 1/2" = 1'-0"



**A1 WALL SECTION**  
SCALE 1/2" = 1'-0"

CITY AND COUNTY OF HONOLULU  
DEPARTMENT OF PLANNING AND PERMITTING  
**APPROVED**  
The licensee, contractor or preparer of plans, specifications, and other documents shall be responsible to the permittee for the accuracy of the information and data furnished and for the compliance of the plans and specifications with the provisions of the rules and regulations of the Department of Planning and Permitting. The licensee, contractor or preparer shall be held liable for any damage or loss resulting from the use of the plans and specifications prepared by the licensee, contractor or preparer. The Department of Planning and Permitting shall not be held liable for any damage or loss resulting from the use of the plans and specifications prepared by the licensee, contractor or preparer. The Department of Planning and Permitting shall not be held liable for any damage or loss resulting from the use of the plans and specifications prepared by the licensee, contractor or preparer.

PERMIT NUMBER: 010002  
APPROVED DATE: 12/03/2021  
BY: E. O. O'NEILL

BUILDING REVIEWER  
12/03/2021



3160 Residence  
New Single Family Dwelling  
3160 Puu Paka, Unit 1,  
Honolulu, Hawaii 96817  
TMK: (1) 2-2-047-007

Architecture • Interior Design  
P.O. Box 3226  
Kalaheo, HI 96744  
(809) 235-5879 (809) 235-2858 fax

Architecture • Interior Design  
P.O. Box 3226  
Kalaheo, HI 96744  
(809) 235-5879 (809) 235-2858 fax

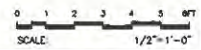


DATE: 10/15/2021  
SCALE: AS NOTED  
DRAWN BY:  
JOB NO.:

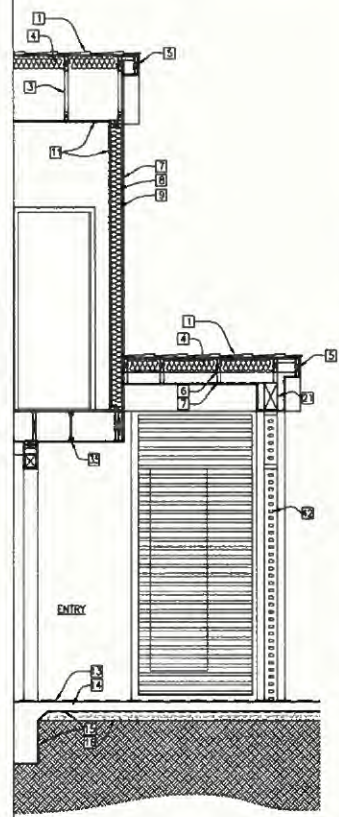
SHEET TITLE: WALL SECTIONS  
A305  
SHEET OF

**SHEET A305 WALL SECTION KEYNOTES**

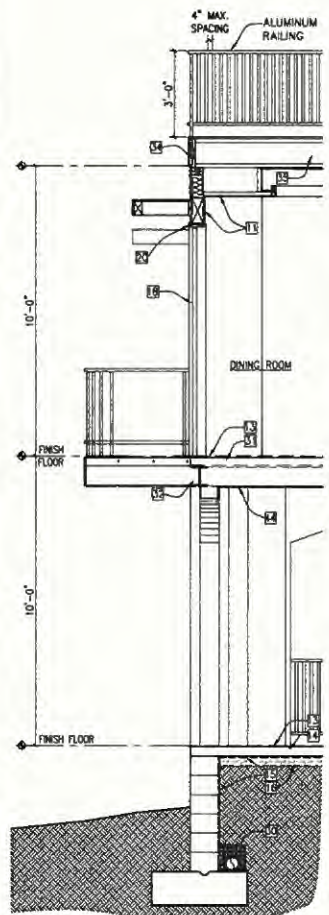
- 1 ASPHALT SHINGLE ROOFING ON TWO LAYER 60 MIL PEEL & STICK UNDERLAYMENT OVER T&G PLYWOOD SHEATHING (TYP)
- 2 2X6 FRIEZE BD. WITH (3) 1 1/2" Ø VENT HOLES WITH INSECT SCREEN (TYP)
- 3 PRE-ENGINEERED ROOF TRUSS (SEE STRL DWGS)
- 4 R-19 INSULATION (TYP)
- 5 2X6 FASCIA WITH STO DEFS ON 1/2" DENSGLASS AND STOGUARD
- 6 RAFTER (SEE STRL DWGS)
- 7 STO DEFS ON 1/2" DENSGLASS AND STOGUARD. PLYWOOD SHEATHING WHERE INDICATED IN STRUCTURAL
- 8 R-13 INSULATION (TYP)
- 9 2X6 STUD @ 16" O.C. (TYP)
- 10 CONT 30# FELT UNDER SOLE PLATE (TYP)
- 11 1/2" GYP BD (TYP)
- 12 BASE AS SCHEDULED (TYP)
- 13 FLOOR FINISH AS SCHEDULED (TYP)
- 14 CONCRETE SLAB (SEE STRL DWGS)
- 15 10 MIL VAPOR BARRIER (TYP)
- 16 4" BASE COURSE (TYP)
- 17 BEAM SEE STRUCTURAL
- 18 DOOR AS SCHEDULED (TYP)
- 19 WINDOWS AS SCHEDULED (TYP)
- 20 STO DEFS ON 1/2" EPS FOAM BELLY BAND OVER 1/2" DENSGLASS OR CMU
- 21 BEAM (SEE STRL DWGS)
- 22 1XB TRIM (TYP)
- 23 1XB TRIM (TYP)
- 24 1/2" WR GYP BD (TYP)
- 25 PORCELAIN TILE THIN SET ON 1/2" TILE BACKER BD (TYP)
- 26 5" CONT ALUMINUM GUTTER, K-STYLE (TYP)
- 27 1/2" HARDESOFFIT, SMOOTH (TYP)
- 28 1/2" WR GYP BD
- 29 12"x12" CMU COLUMN WITH STO DEFS FINISH
- 30 PERFORATED DRAIN W/HOLES FACING DOWN W/ 12" GRAVEL WRAP W/GEOTEXTILE FABRIC
- 31 CONCRETE FILLED METAL DECK
- 32 STEEL BEAM (SEE STRL DWGS)
- 33 CMU WALL
- 34 TIMBERSTRAND RIM JOIST
- 35 T&J JOIST (SEE STRL DWGS)
- 36 CEILING JOIST (SEE STRL DWGS)
- 37 WATERPROOFING MEMBRANE
- 38 TILE OVER SCHLUTER WATERPROOFING MEMBRANE
- 39 COPPER GUTTER
- 40 STO OVER STOGOLD AND STOGUARD ON CMU
- 41 SELF ADHERING MODIFIED BITUMEN ROOF SYSTEM ON EPS FOAM
- 42 ALUMINUM LOUVERED SCREENING CODA ARCHITECTURAL ARRAGONI, BLACK ANODIZED FINISH
- 43 ARMSTRONG WOOD GRILL CEILING
- 44 ARMSTRONG WOOD HAVEN WOOD PLANK CEILING
- 45 1/2" TYPE X GYP BD



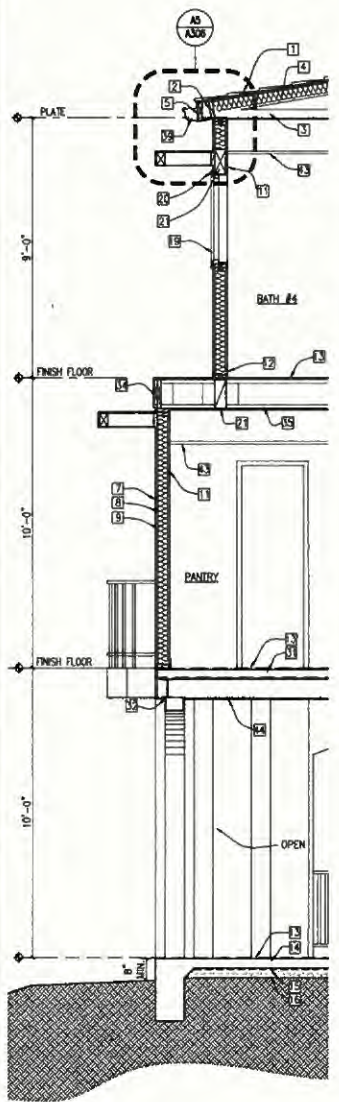
PALEKAMA PERMITS THIRD PARTY CERTIFICATION	
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<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> RESIDENTIAL CODE
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	



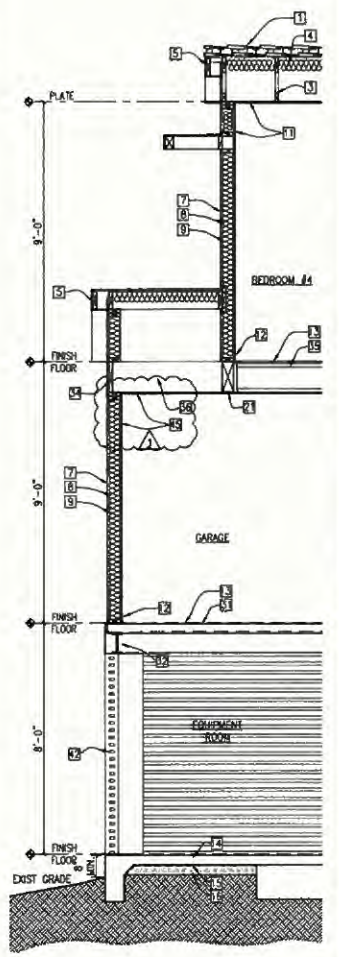
**A4 WALL SECTION**  
SCALE: 1/2" = 1'-0"



**A3 WALL SECTION**  
SCALE: 1/2" = 1'-0"



**A2 WALL SECTION**  
SCALE: 1/2" = 1'-0"



**A1 WALL SECTION**  
SCALE: 1/2" = 1'-0"

CITY AND COUNTY OF HONOLULU  
DEPARTMENT OF PLANNING AND PERMITTING

**APPROVED**

The issuance hereunder of any permit or approval of plans, specifications, and other data shall not be construed to be a warranty, or approval of, or endorsement of the products of the state or of any other law. The issuance of a permit shall not prevent the building official from discontinuing the construction of work on the project and modifications or from taking building operations which in the opinion of the building official are necessary to the safety of the public, or from taking any other action which in the opinion of the building official is necessary to the safety of the public or to the proper administration of the laws of the State of Hawaii. The issuance of a permit shall not be construed to be a warranty, or approval of, or endorsement of the products of the state or of any other law.

PERMIT NUMBER: 19-00002  
APPROVED DATE: 08/15/2021  
BY: *[Signature]*



THE LICENSEE SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT AND SHALL BE SUBJECT TO THE DISCIPLINARY PROCEEDINGS OF THE BOARD OF PROFESSIONAL ENGINEERS OF THE STATE OF HAWAII.

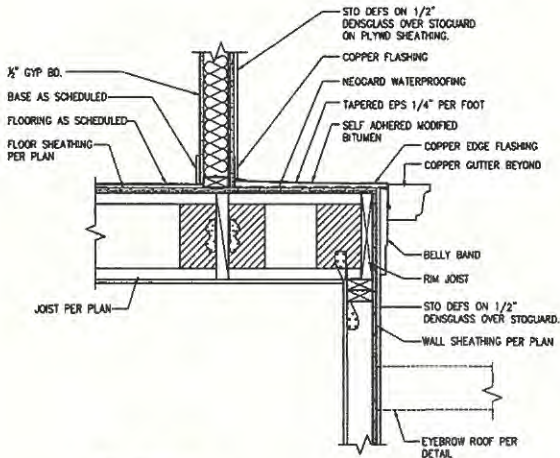
**3160 Residence**  
New Single Family Dwelling  
3160 Puu Peaka, Unit 1,  
Honolulu, Hawaii 96817  
TMK (1) 2-2-047:007

Architecture • Interior Design  
P.O. Box 5220  
Kaneohe, HI 96744  
(808) 235-3876 (808) 235-2856 fax

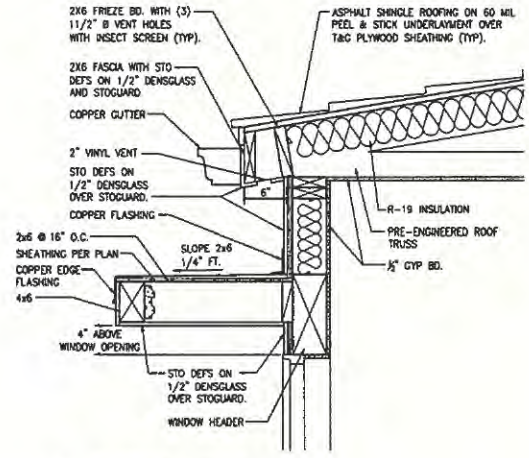


DATE: 08/15/2021  
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DRAWN BY:  
JOB NO.:  
SHEET TITLE: DETAILS

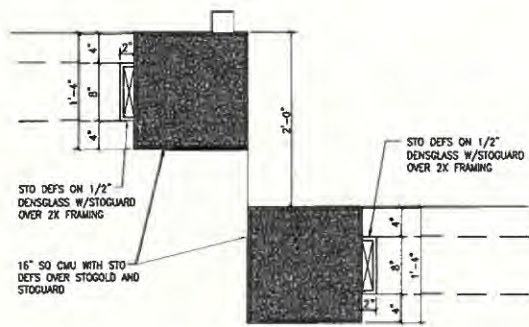
**A306**



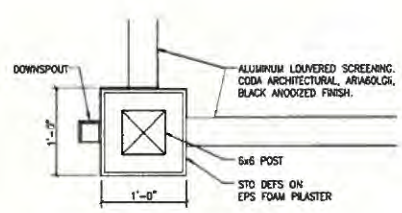
**A4** DETAIL  
SCALE: 1 1/2" = 1'-0"



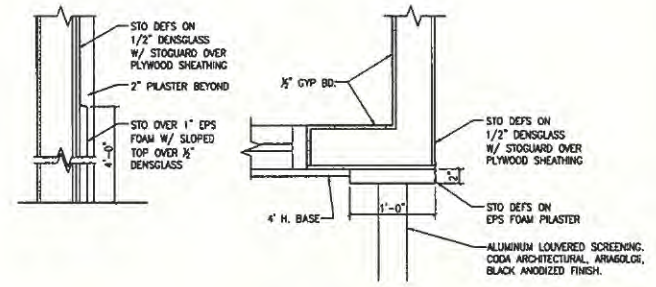
**A5** EYEBROW ROOF DETAIL  
SCALE: 1 1/2" = 1'-0"



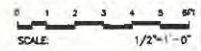
**A1** COLUMN DETAIL  
SCALE: 1 1/2" = 1'-0"



**A2** COLUMN DETAIL  
SCALE: 1 1/2" = 1'-0"

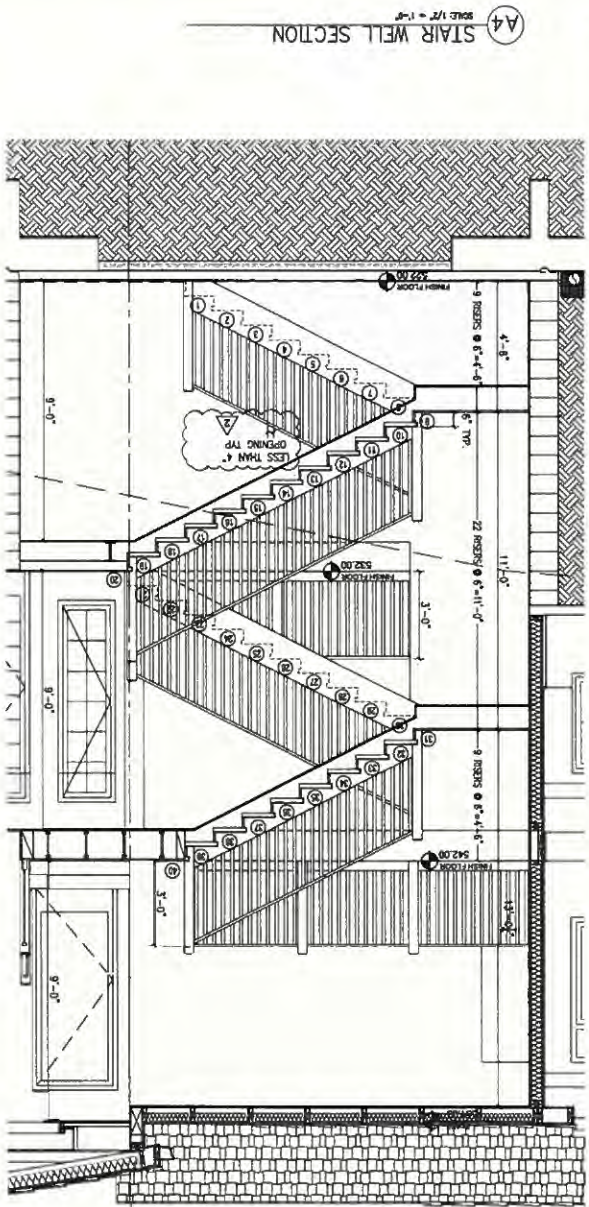
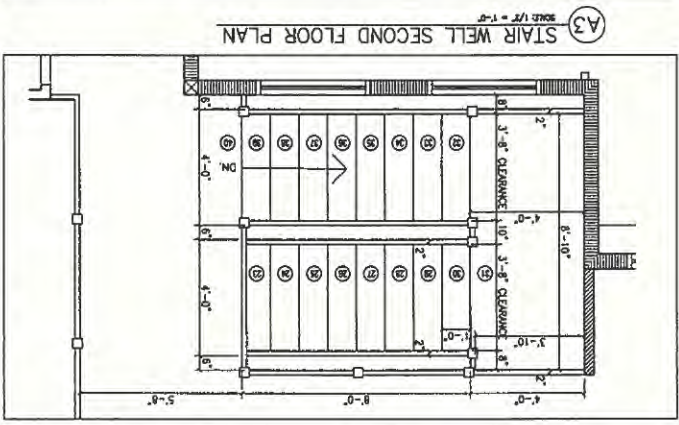
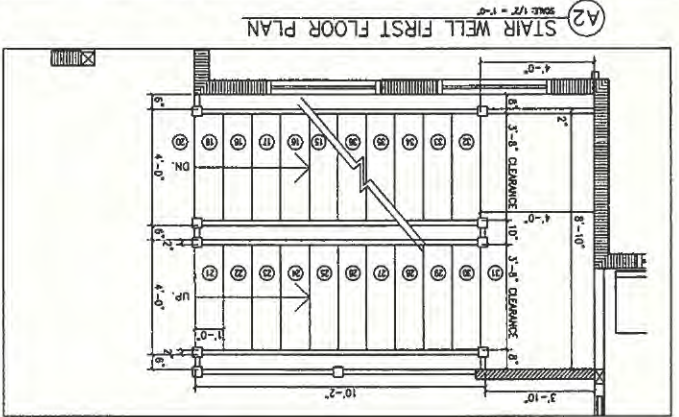
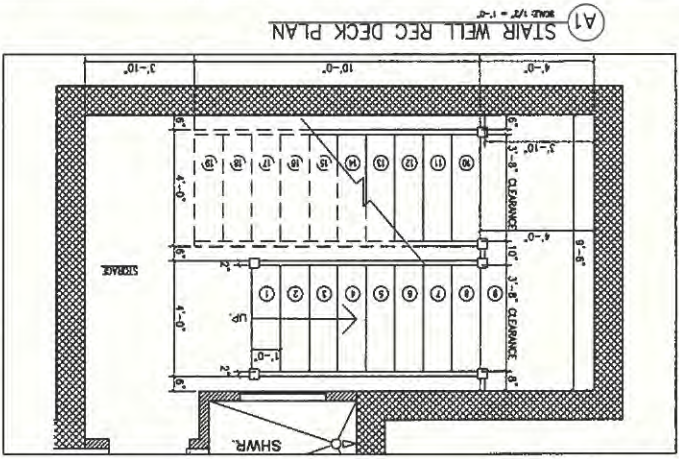


**A3** BASE/PILASTER DETAILS  
SCALE: 1 1/2" = 1'-0"



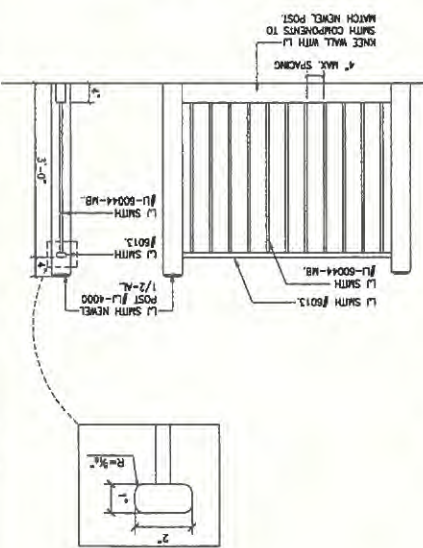
PALEXANA PERMITS  
THIRD PARTY CERTIFICATION

<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> RESIDENTIAL CODE
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	



PALEOMA PERMITS  
 THIRD PARTY CERTIFICATION  
 BUILDING CODE  
 ELECTRICAL CODE  
 MECHANICAL CODE  
 STRUCTURAL (NON-SIGNIFICANT FAMILY DWELLING)  
 SCALE: 1/2" = 1'-0"

A5 RAILING DETAILS  
 SCALE 1/8" = 1'-0"



BUILDING REVIEWER  
 12/03/2021  
 BUILDING REVIEWER  
 12/18/2021

DATE: 10/15/2021  
 SCALE: AS NOTED  
 DRAWN BY:  
 JOB NO.:  
 SHEET: A307

Architecture • Interior Design  
 Msquared Design  
 P.O. Box 5329  
 Kaneohe, HI 96744  
 (808) 253-3878 (808) 253-3838 fax

3160 Residence  
 New Single Family Dwelling  
 3160 Puu Paka, Unit 1,  
 Honolulu, Hawaii 96817  
 TMK (1) 2-2-047-007

Professional Engineer  
 License No. 10000  
 State of Hawaii  
 M. WATSON

Professional Engineer  
 License No. 10000  
 State of Hawaii  
 M. WATSON

APPROVED  
 DEPARTMENT OF PLANNING AND PERMITTING  
 CITY AND COUNTY OF HONOLULU  
 The enclosed construction is in compliance with the provisions of the City and County of Honolulu, Hawaii, and the Department of Planning and Permitting. The enclosed construction is in compliance with the provisions of the City and County of Honolulu, Hawaii, and the Department of Planning and Permitting. The enclosed construction is in compliance with the provisions of the City and County of Honolulu, Hawaii, and the Department of Planning and Permitting.

CITY AND COUNTY OF HONOLULU  
DEPARTMENT OF PLANNING AND PERMITTING

**APPROVED**

The required particulars of this permit as approved by the Department of Planning and Permitting shall not be construed to be a promise, or assurance, or a guarantee of any particular of the work or of any other work. The Department of Planning and Permitting shall not be held responsible for any errors or omissions in the plans and specifications or for any building conditions which may exist at the time of the issuance of this permit. The Department of Planning and Permitting shall not be held responsible for any errors or omissions in the plans and specifications or for any building conditions which may exist at the time of the issuance of this permit. The Department of Planning and Permitting shall not be held responsible for any errors or omissions in the plans and specifications or for any building conditions which may exist at the time of the issuance of this permit.

PERMIT NUMBER: \_\_\_\_\_  
APPROVED DATE: \_\_\_\_\_  
BY: *Enidha C. Garcia*

BUILDING REVIEWER  
12/03/2021



*Mark W. Mateu*  
Professional Engineer  
No. 7885  
State of Hawaii  
Exp. 03/2022

**3160 Residence**  
New Single Family Dwelling  
3160 Puu Paia, Unit 1,  
Honolulu, Hawaii 96817  
TMK: (1) 2-2-047-007

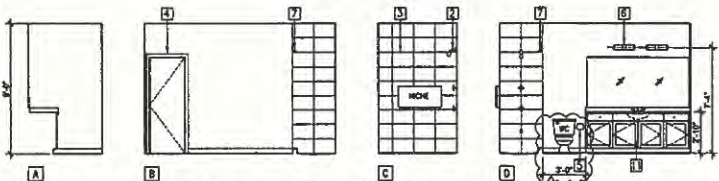
Architecture & Interior Design  
P.O. Box 8229  
Honolulu, HI 96814  
(808) 235-3079 (808) 235-2658 fax



DATE: 10/15/2021  
SCALE: AS NOTED  
DRAWN BY:  
REV. NO.:

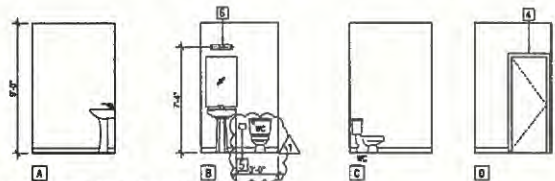
SHEET TITLE: INTERIOR ELEVATIONS

A401

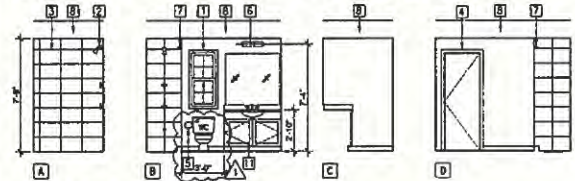


**A1 BATH #1 ELEVATION**  
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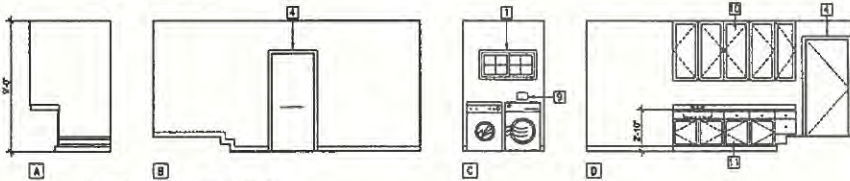
NOTE: ALL TILE IN WET AREAS TO USE SCHLUTER WATERPROOFING MEMBRANE INCLUDING FLOOR DRAIN SYSTEM.



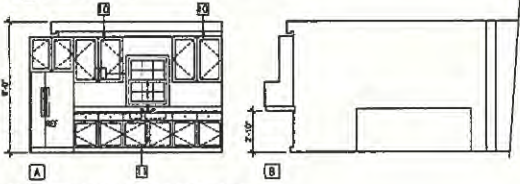
**A1 POWDER ELEVATION**  
SCALE: 1/4" = 1'-0"



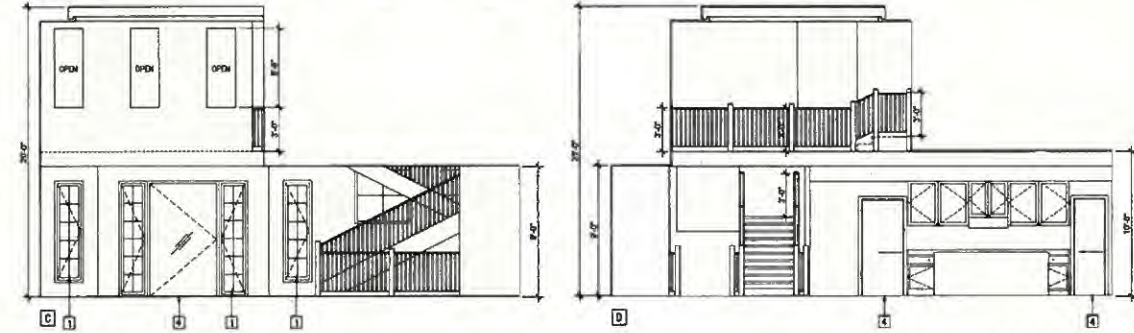
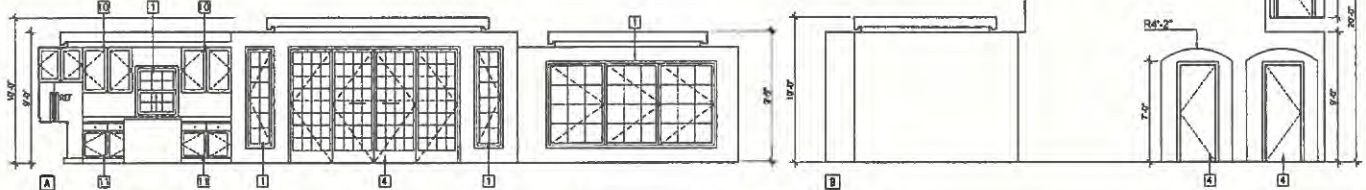
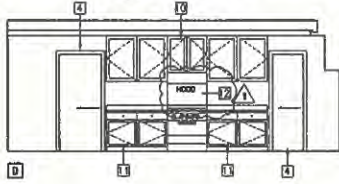
**A1 BATH #2 ELEVATION**  
SCALE: 1/4" = 1'-0"



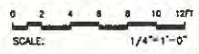
**A1 MUDROOM ELEVATION**  
SCALE: 1/4" = 1'-0"



**A1 KITCHEN ELEVATION**  
SCALE: 1/4" = 1'-0"



**A1 GREAT ROOM ELEVATION**  
SCALE: 1/4" = 1'-0"



PALEIKANA PERMITS  
THIRD PARTY CERTIFICATION

<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> RESIDENTIAL CODE
<input type="checkbox"/> STRUCTURAL (NON-SINGLE/FAMILY DWELLINGS)	

**SHEET A401 KEYNOTES**

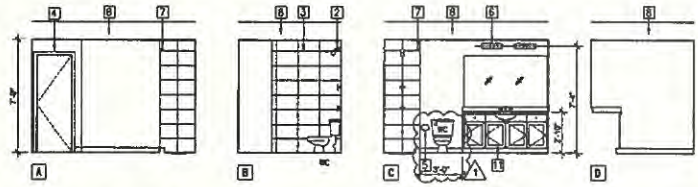
- 1 WINDOW AS SCHED.
- 2 SHOWER HEAD.
- 3 TILE AS SCHEDULED (TYP)
- 4 DOOR AS SCHED.
- 5 TOILET PAPER HOLDER.
- 6 LIGHT FIXTURE (TYP).
- 7 CURTAIN ROD.
- 8 AC PLENUM.
- 9 LAUNDRY BOX.
- 10 UPPER CABINETS.
- 11 BASE CABINETS.
- 12 STAINLESS STEEL BACKSPASH



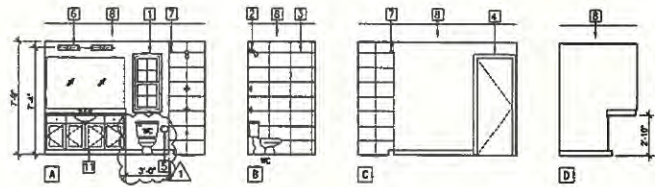
CITY AND COUNTY OF HONOLULU  
 DEPARTMENT OF PLANNING AND PERMITTING  
**APPROVED**  
 The licensee warrants that any permit or approval of plans, specifications, and other documents is issued in accordance with the laws and regulations of the State of Hawaii. The licensee warrants that any permit or approval of plans, specifications, and other documents is issued in accordance with the laws and regulations of the State of Hawaii. The licensee warrants that any permit or approval of plans, specifications, and other documents is issued in accordance with the laws and regulations of the State of Hawaii.  
 PERMIT NUMBER: 08622  
 APPROVED DATE: 12/03/2021  
 BY: Erendra Cubero

BUILDING REVIEWER  
 12/03/2021

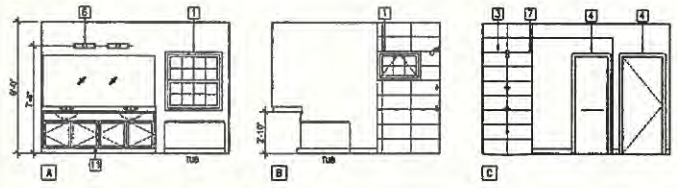
MARK H. MATSUDA  
 LICENSED PROFESSIONAL ARCHITECT  
 No. 708  
 HAWAII, U.S.A.  
 DP-45022



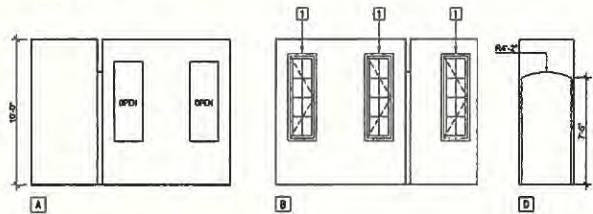
**(A1) BATH #3 ELEVATION**  
 SCALE: 1/4" = 1'-0"



**(A1) BATH #4 ELEVATION**  
 SCALE: 1/4" = 1'-0"



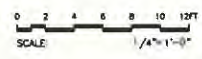
**(A1) MASTER BATH ELEVATION**  
 SCALE: 1/4" = 1'-0"



**(A1) CORRIDOR ELEVATION**  
 SCALE: 1/4" = 1'-0"

**SHEET A402 KEYNOTES**

- 1 WINDOW AS SCHED.
- 2 SHOWER HEAD.
- 3 TILE AS SCHEDULED (TYP)
- 4 DOOR AS SCHED.
- 5 TOILET PAPER HOLDER.
- 6 LIGHT FIXTURE (TYP).
- 7 CURTAIN ROD.
- 8 AC PLENUM.
- 9 LAUNDRY BOX.
- 10 UPPER CABINETS.
- 11 BASE CABINETS.



PALEKANA PERMITS THIRD PARTY CERTIFICATION	
<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> RESIDENTIAL CODE
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	

**3160 Residence**  
 New Single Family Dwelling  
 3160 Puu Paia, Unit 1,  
 Honolulu, Hawaii 96817  
 TMC: (1) 2-2-047-007

Architecture • Interior Design  
 P.O. Box 528  
 Honolulu, HI 96844  
 (808) 235-3879 (808) 235-2658 fax



DATE: 10/15/2021  
 SCALE: AS NOTED  
 DRAWN BY:  
 EIR NO.:

SHEET TITLE:  
 INTERIOR ELEVATIONS

**A402**  
 SHEET 07

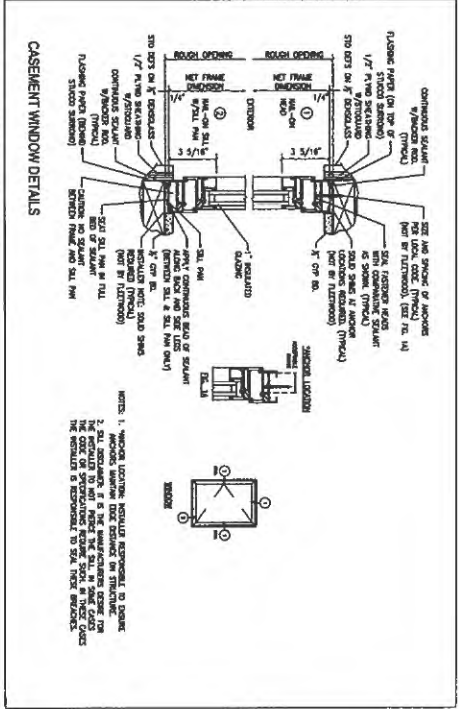


STATE OF HAWAII  
 DEPARTMENT OF PLANNING AND PERMITTING  
**APPROVED**  
 CITY AND COUNTY OF HONOLULU  
 PERMITTED SUBJECT: [REDACTED]  
 PROJECT ADDRESS: [REDACTED]  
 CITY AND COUNTY OF HONOLULU

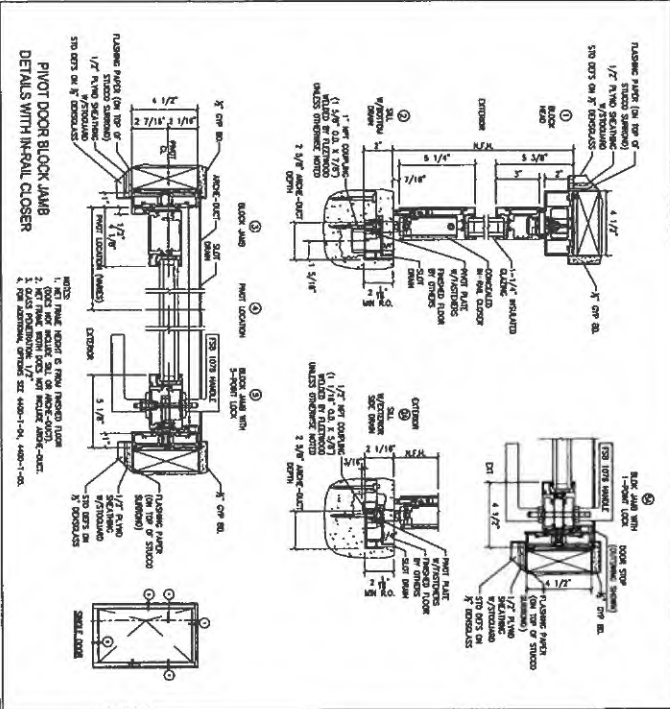
3160 Residence  
 New Single Family Dwelling  
 3160 Puu Paka, Unit 1,  
 Honolulu, Hawaii 96817  
 TMK: (1) 2-2-047-007

Architecture • Interior Design  
 P.O. Box 5229  
 Kaneohe, HI 96744  
 (808)-235-3679 (808)-235-2656 fax  
**MSquared Design**

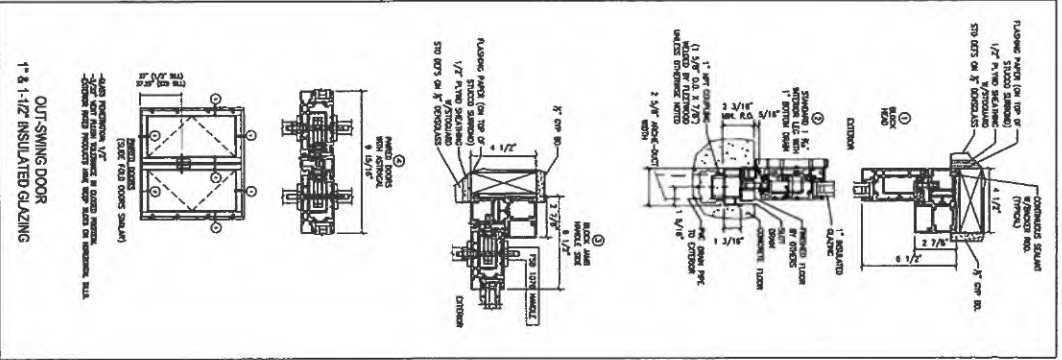
DATE: 10/15/2021  
 SCALE: AS NOTED  
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 CHECKED BY: [REDACTED]  
 THIRD PARTY CERTIFICATION  
 BUILDING CODE  ELECTRICAL CODE  
 MECHANICAL CODE  INCIDENTAL CODE  
 STRUCTURAL, MECHANICAL, PLUMBING, AND FIRE PREVENTION  
 A601



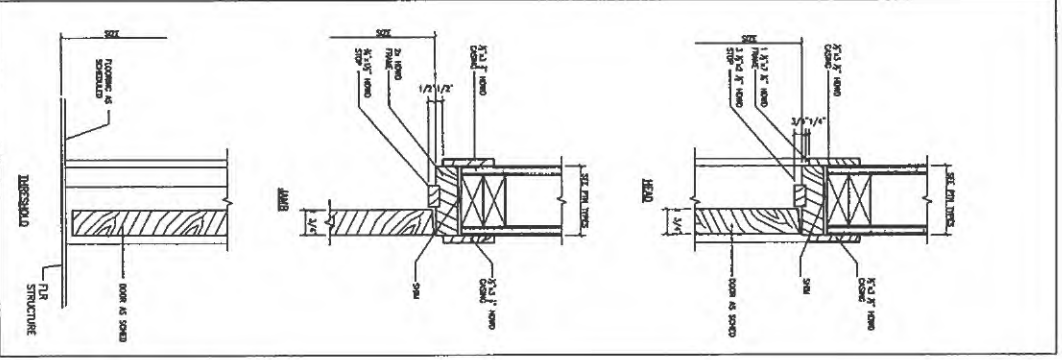
**A4** WINDOW DETAIL  
 SCALE: 3/4\"/>



**A3** DOOR DETAIL  
 SCALE: 3/4\"/>



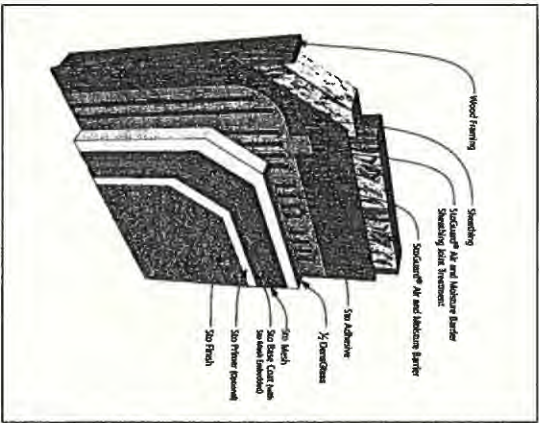
**A2** DOOR DETAIL  
 SCALE: 3/4\"/>



**A1** DOOR DETAIL  
 SCALE: 3/4\"/>

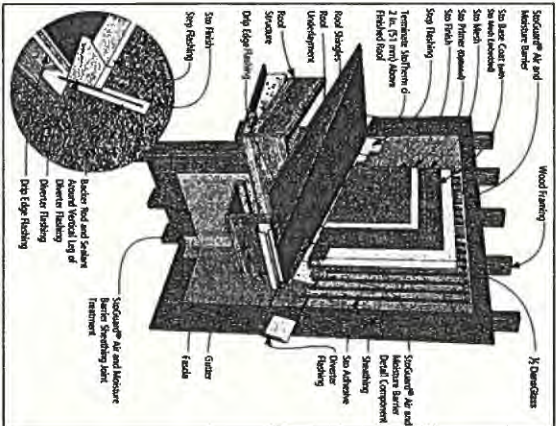


THIRD PARTY CERTIFICATION  
 BUILDING CODE  ELECTRICAL CODE  
 MECHANICAL CODE  INCIDENTAL CODE  
 STRUCTURAL, MECHANICAL, PLUMBING, AND FIRE PREVENTION



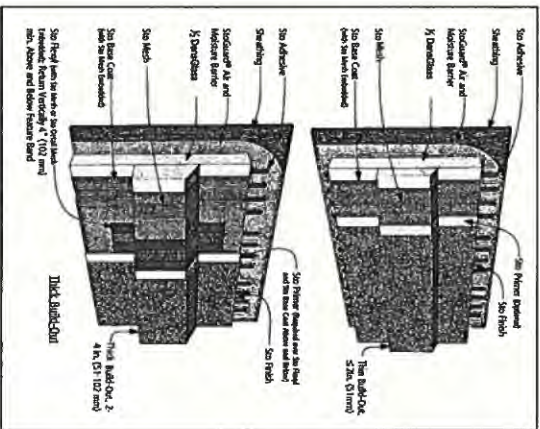
**A1** DETAIL  
SCALE: 1/8" = 1'-0"

**SluTherm® ci over Wood-Frame System Components**



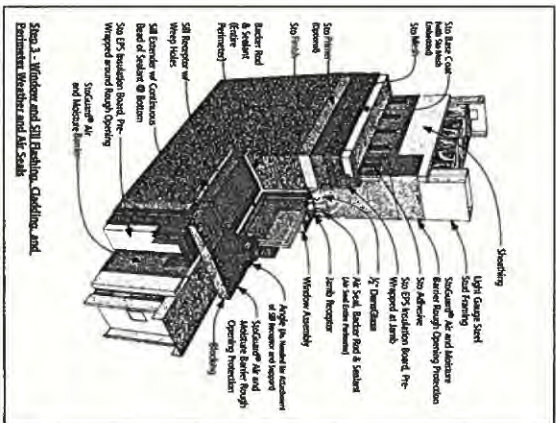
**A4** DETAIL  
SCALE: 1/8" = 1'-0"

**SluTherm® ci over Wood-Frame Window Head and Sill Detail**



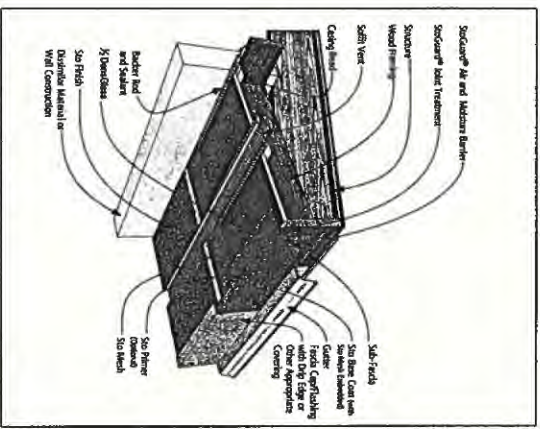
**A2** DETAIL  
SCALE: 1/8" = 1'-0"

**SluTherm® ci over Wood-Frame Sill Detail**



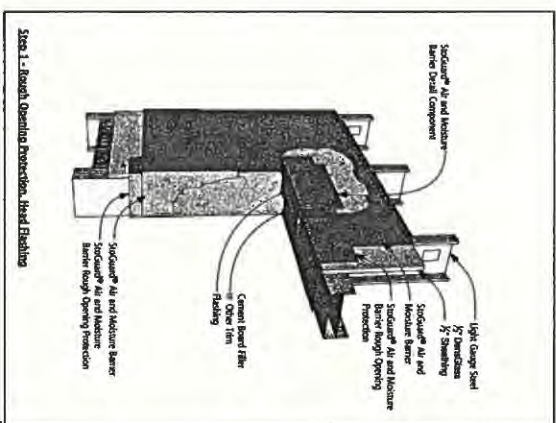
**A5** DETAIL  
SCALE: 1/8" = 1'-0"

**SluTherm® ci Reception-Type Window Sill Detail**



**A3** DETAIL  
SCALE: 1/8" = 1'-0"

**SluTherm® ci over Wood-Frame Window Head and Sill Detail**



**A6** DETAIL  
SCALE: 1/8" = 1'-0"

**SluTherm® ci Reception-Type Window Head Detail**

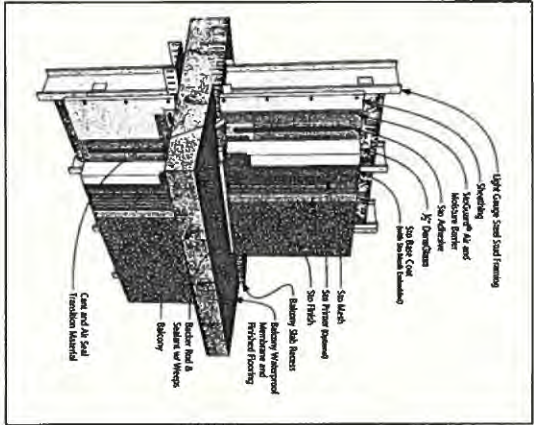
CITY AND COUNTY OF HONOLULU  
DEPARTMENT OF PLANNING AND PERMITS  
**APPROVED**  
12/03/2021  
BUILDING REVIEWER

3160 Residence  
New Single Family Dwelling  
3160 Puu Paka, Unit 1,  
Honolulu, Hawaii 96817  
TMK: (1) 2-2-047-007

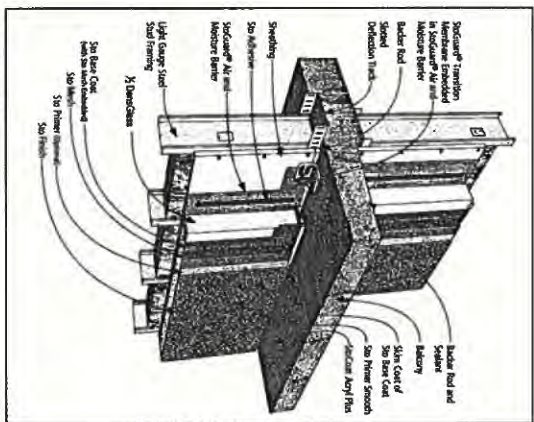
Architecture • Interior Design  
P.O. Box 5229  
Kaneohe, HI 96744  
(808)-235-3879 (808)-235-2650 fax  
MSquared Design

PROJECT NO. A602  
DATE: 10/11/2021  
SCALE: AS NOTED  
DRAWN BY: TMM:VIT  
JOB NO. 1921

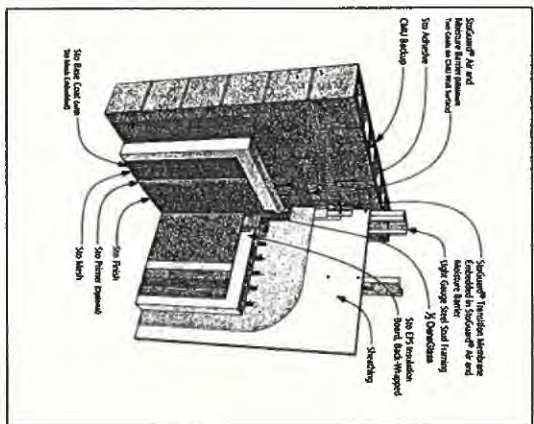
TRIBAL PARTY CERTIFICATION  
 BUILDING CODE  ELECTRICAL CODE  
 MECHANICAL CODE  PLUMBING CODE  
 STRUCTURAL ENGINEERING CERTIFICATION



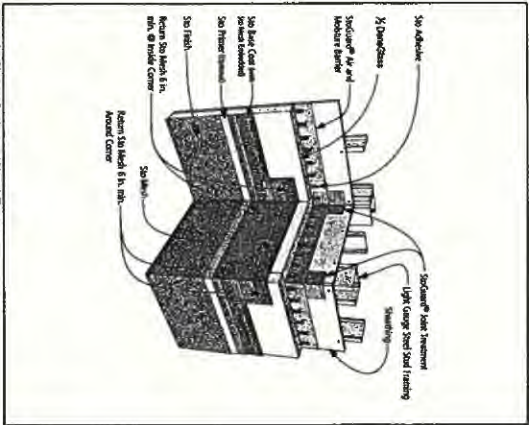
**SloTherm® d**  
Balcony Floor/Wall  
**A1** DETAIL  
SCALE: 1/4\"/>



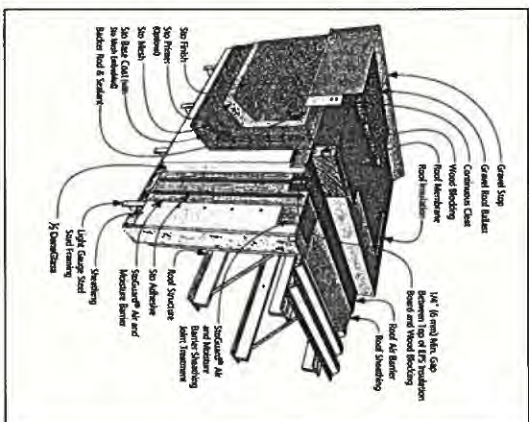
**SloTherm® d**  
Balcony Ceiling/Wall  
**A2** DETAIL  
SCALE: 1/4\"/>



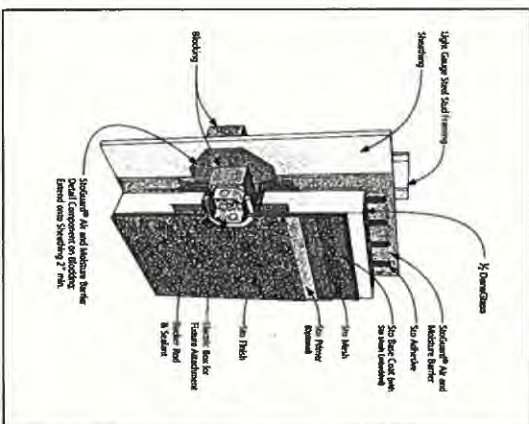
**SloTherm® d**  
Inside Corner with Dissimilar Backup Wall  
**A3** DETAIL  
SCALE: 1/4\"/>



**SloTherm® d**  
Inside and Outside Corner with Common Substrate and Steel Reinforcement  
**A4** DETAIL  
SCALE: 1/4\"/>



**SloTherm® d**  
Gravel Stop  
**A5** DETAIL  
SCALE: 1/4\"/>



**SloTherm® d**  
Future Alignment  
**A6** DETAIL  
SCALE: 1/4\"/>

CITY AND COUNTY OF HONOLULU  
DEPARTMENT OF PLANNING AND PERMITTING  
**APPROVED**  
12/20/2015



3160 Residence  
New Single Family Dwelling  
3160 Puu Paka, Unit 1,  
Honolulu, Hawaii 96817  
TMK: (1) 2-2-047-007

Architecture • Interior Design  
P.O. Box 5229  
Kaneohe, HI 96744  
(808) 235-3679 (808) 235-2656 fax

PLANS REQUIREMENTS  
THIRD PARTY CERTIFICATION:  
 BUILDING CODE  ELECTRICAL CODE  
 MECHANICAL CODE  RESIDENTIAL CODE  
 STRUCTURAL (NON-SIGNATURE/STAMP/VERIFICATION)

PROJECT: 3160 RESIDENCE  
DATE: 10/15/2015  
SCALE: AS NOTED  
DRAWN BY: [Name]  
NO. NO.: [Number]  
REVISIONS:  
DATE: [Date]  
BY: [Name]  
A603



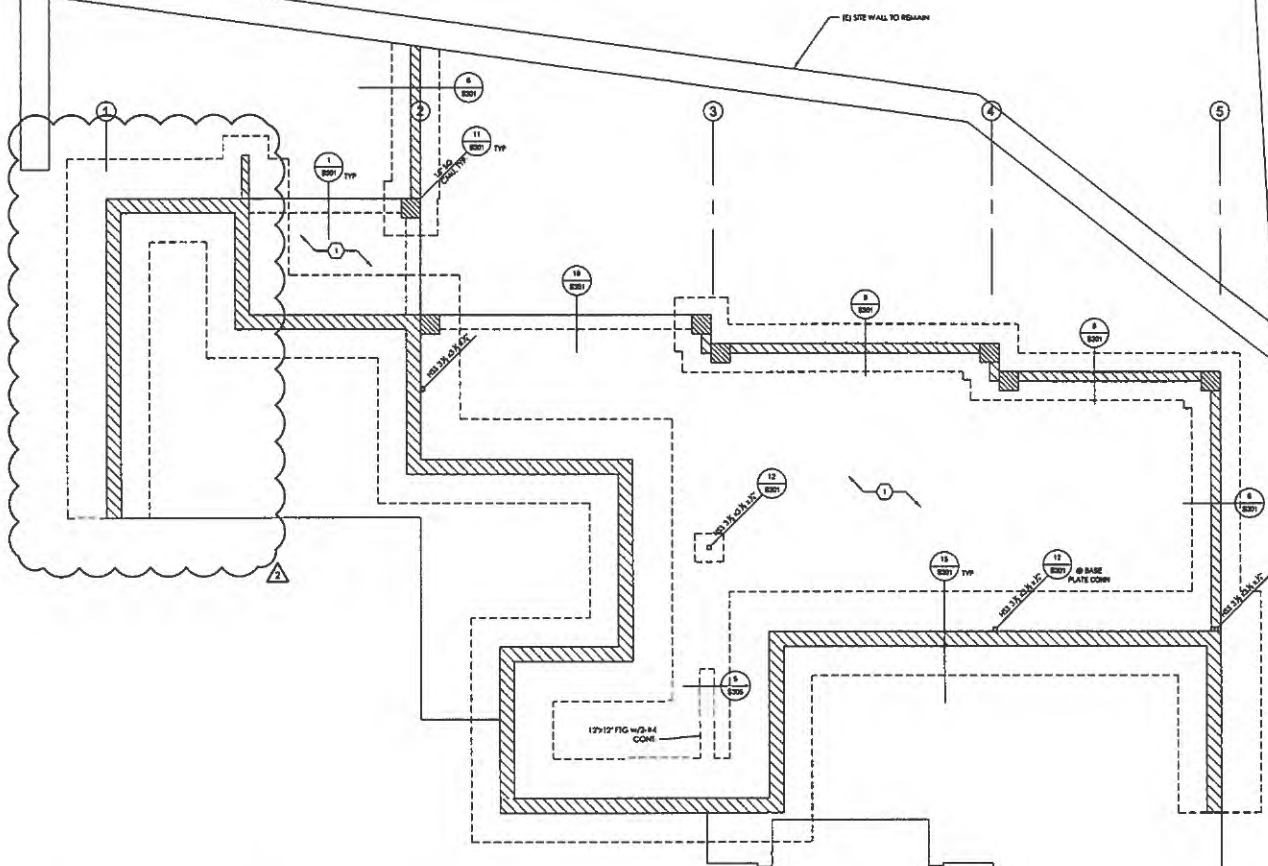
CITY AND COUNTY OF HONOLULU  
 DEPARTMENT OF PLANNING AND PERMITTING  
**APPROVED**

The issuance hereunder of any permit or approval of plans, specifications, and other data shall not be construed to be a promise for, or warranty of, any satisfaction of any provisions of the code or of any other law. The issuance of a permit shall not prevent the building official from thereafter requiring the correction of errors in the plans and specifications or from halting building operations when in violation of the provisions of any applicable law and the requirement of any other law. Any work at project shall conform to all applicable laws and the requirement of any other law. No person shall be held liable for violation of any of the provisions of said codes and the statutes.

PERMIT NUMBER: 12-013-00002  
 APPROVED DATE: 08/22/2022

BY: Evelyn Cubich

BUILDING REVIEWER  
 12/03/2021  
 BUILDING REVIEWER  
 03/28/2022



**LEGEND:**

- INDICATES MASONRY RETAINING WALL PER DETAIL 120321
- INDICATES 4\"/>

**NOTES:**

1. PROVIDE CONTROL JOINTS @ 16' O.C. MAX. EA. WALL & @ 8' O.C. MAX. EA. WALL AT WALKWAYS. TYP.
2. REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL SURGRADE FOUNDATION REQUIREMENTS. TYP.

**FOUNDATION PLAN**  
 SCALE: 1/4" = 1'-0"

SEE SHEET S101



**3160 Residence**  
 New Single Family Dwelling  
 3160 Puu Paka, Unit 1,  
 Honolulu, Hawaii 96817  
 TMK: (1) 2-2-047:007

Architecture • Interior Design  
 P.O. Box 8299  
 Kaimukohi, HI 96814  
 (808) 235-3678 (808) 235-3638 fax



DATE: 10/15/2021  
 SCALE: AS NOTED  
 DRAWN BY:  
 JOB NO.:  
 SHEET TITLE:

FOUNDATION PLAN  
**S100**  
 SHEET OF

CITY AND COUNTY OF HONOLULU  
 DEPARTMENT OF PLANNING AND PERMITTING  
**APPROVED**  
 The Board has reviewed all plans and approved of them, and other data that may be necessary to be a permit for, or approval of, any violation of any provisions of the code or of any other law. The issuance of a permit shall not prevent the building official from discontinuing the operation of any work on the plans and specifications or from halting building operations when in violation of the provisions of said chapters and the engineer or of any other law that may be enacted or amended or revised and the issuance of permits is a ministerial act under Section 10-1.1. Permit for violation of any of the provisions of said chapters and the engineer.  
 PERMIT NUMBER: [blank]  
 APPROVED DATE: 03/28/2022  
 BY: [Signature] DATE OF HAWAII  
 BY: [Signature] DATE OF HAWAII

**BUILDING REVIEWER**  
 12/03/2021  
**BUILDING REVIEWER**  
 03/28/2022



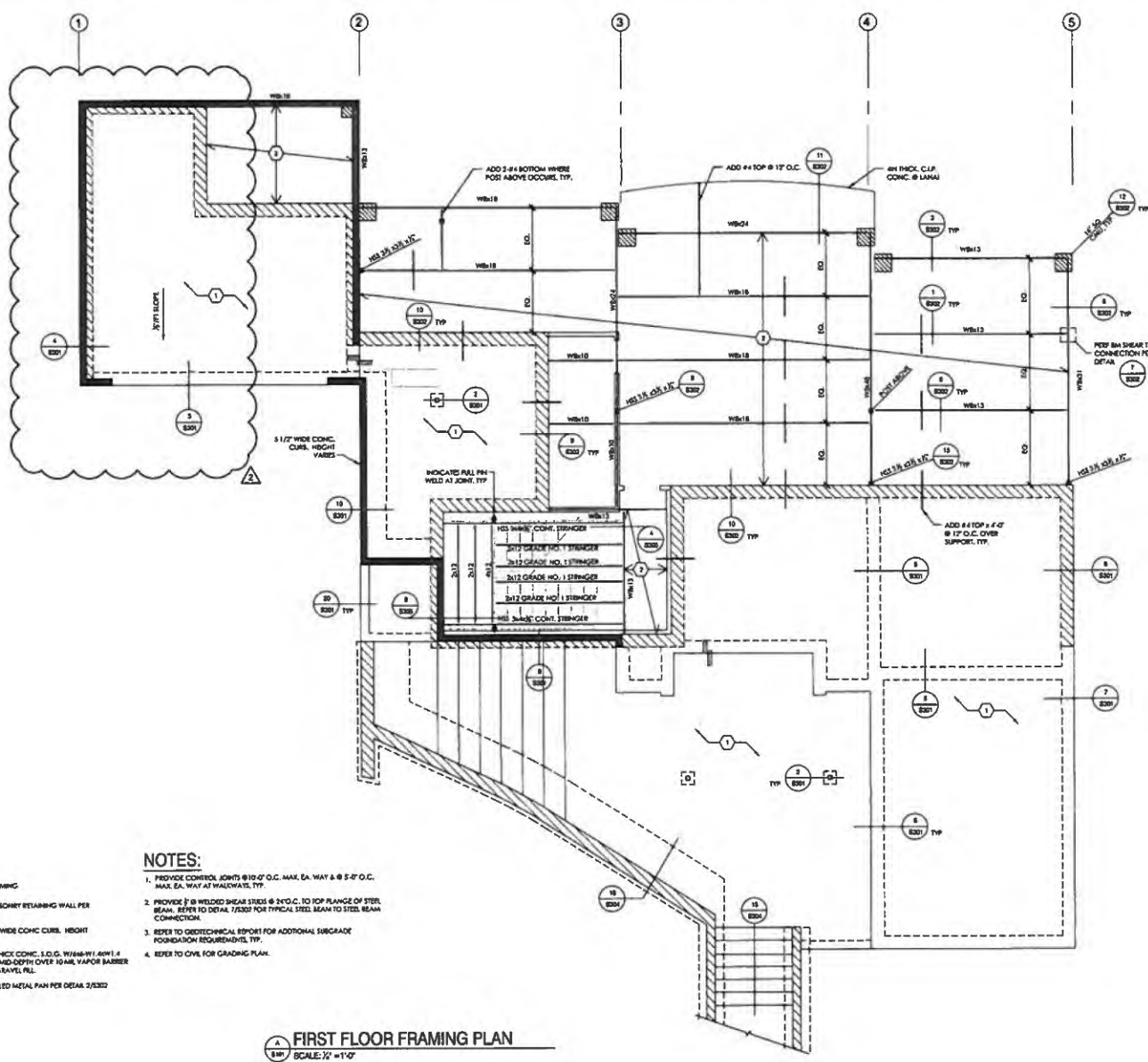
THE STATE ENGINEER HAS REVIEWED THESE PLANS AND APPROVED THEM AS SHOWN ON THE DATE INDICATED ABOVE. THIS REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE PLANS AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED HEREON. THE ENGINEER DOES NOT WARRANT THAT THE PLANS WILL BE CONFORMANT WITH ALL APPLICABLE CODES AND REGULATIONS. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY HIMSELF OR HIS EMPLOYERS.

**3160 Residence**  
 New Single Family Dwelling  
 3160 Pua Puka, Unit 1,  
 Honolulu, Hawaii 96817  
 TMK: (1) 2-2-047-007

Architecture • Interior Design  
 P.O. Box 5229  
 Kaneohe, HI 96744  
 (809) 235-9878 (809) 235-2696 fax



DATE: 10/15/2021  
 SCALE: AS NOTED  
 DRAWN BY:  
 JOB NO.:  
 SHEET TITLE: FIRST FLOOR FRAMING PLAN  
**S101**  
 SHEET OF



**LEGEND:**

- EXTENT OF FRAMING
- INDICATES MASONRY RETAINING WALL PER DETAIL 15/301
- INDICATES 3/4" WIDE CONC. CURB. HEIGHT VARIES
- INDICATES #1 THICK CONC. S.O.C. WITH #11 JOINT # WITH #1 SLAB MID-DEPTH OVER 10# VAPOR BARRIER OVER 4" GRAVEL FILL
- CONCRETE FILLED METAL PAN PER DETAIL 2/302

**NOTES:**

1. PROVIDE CONTROL JOINTS @ 10'-0" O.C. MAX. EA. WAY & @ 5'-0" O.C. MAX. EA. WAY AT WALKWAYS, TYP.
2. PROVIDE #8 WELDED SHEAR STEEL @ 24" O.C. TO TOP FLANGE OF STEEL BEAM. REFER TO DETAIL 7/303 FOR TYPICAL SIZE. MATCH TO STEEL BEAM CONNECTION.
3. REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL SURGRADE FOUNDATION REQUIREMENTS, TYP.
4. REFER TO CIVIL FOR GRADING PLAN.

**FIRST FLOOR FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"



CITY AND COUNTY OF HONOLULU  
DEPARTMENT OF PLANNING AND PERMITTING

**APPROVED**

The issuing hereof is not a permit for, or approval of, any violation of any provision of the code of any other law. The issuance of a permit shall not prevent the building official from thereafter requiring the correction of errors in the plans and specifications or from making building corrections when in violation of the provisions of any other law or the code of any other law. No shall prevent the issuance of other orders and the suspension of permits or revocation of permits for a permit for violation of any of the provisions of said chapters and the division.

PERMIT NUMBER: 2021-000000  
APPROVED DATE: 03/28/2022  
BY: ELOHUA CUBANOS

BUILDING REVIEWER  
12/03/2021

BUILDING REVIEWER  
03/28/2022



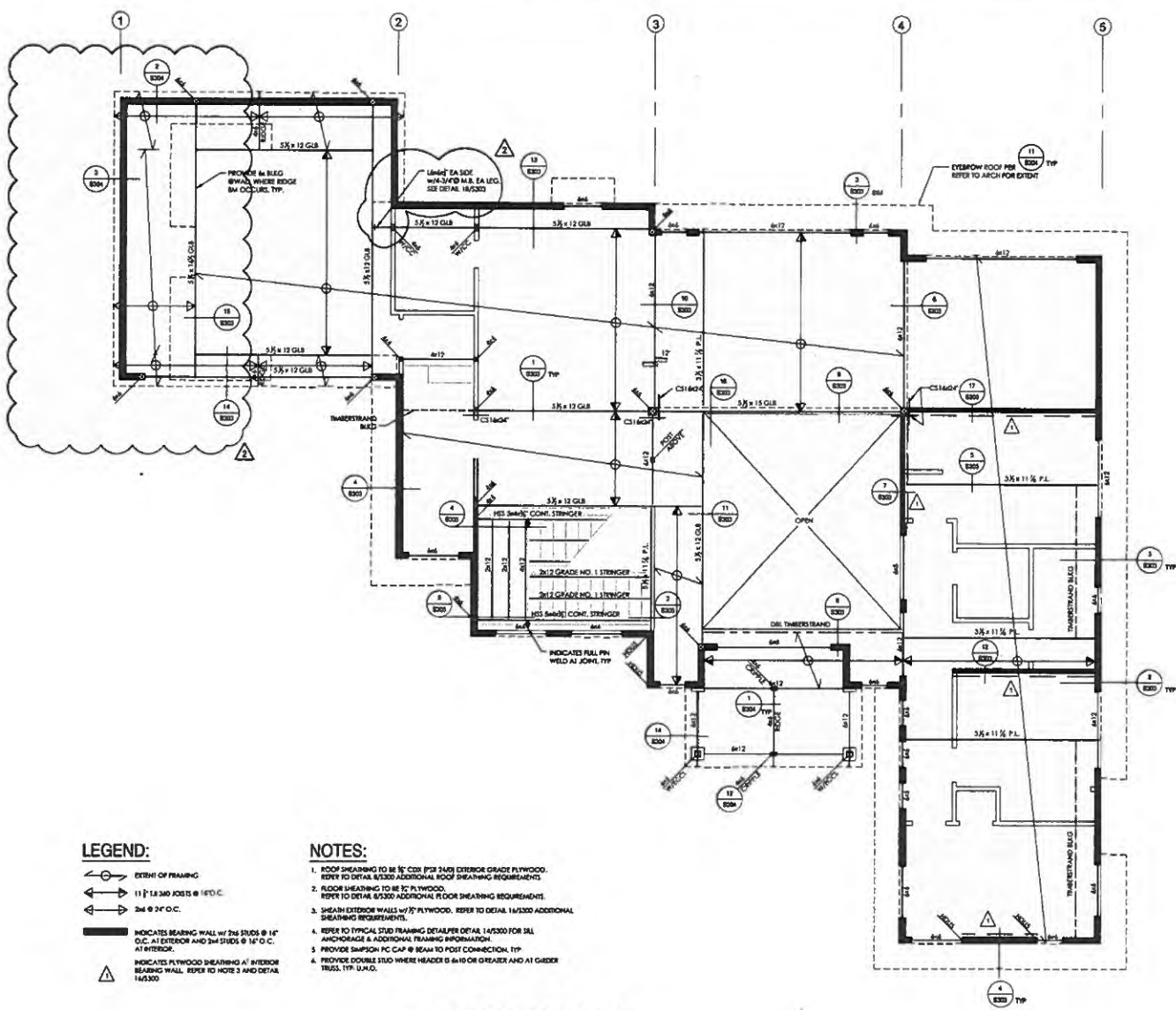
THIS PLAN IS APPROVED AS SHOWN ON THE DATE OF ISSUANCE OF THIS PERMIT. THE ISSUANCE OF THIS PERMIT DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE PERMITTEE IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTING AGENCIES AND FOR OBTAINING ALL NECESSARY INFORMATION FROM THE AFFECTING AGENCIES. THE PERMITTEE IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTING AGENCIES AND FOR OBTAINING ALL NECESSARY INFORMATION FROM THE AFFECTING AGENCIES.

**3160 Residence**  
New Single Family Dwelling  
3160 Piia Piia, Unit 1  
Honolulu, Hawaii 96817  
TMK: (1) 2-2-047-007

Architecture • Interior Design  
P.O. Box 6229  
Kaneohe, HI 96744  
(808) 235-9879 (808) 235-7659 fax



DATE: 10/15/2021  
SCALE: AS NOTED  
DRAWN BY:  
JOB NO.:  
SHEET TITLE  
2ND FLOOR FRAMING PLAN  
**S102**



**LEGEND:**

- EXTENT OF FRAMING
- 1 1/2" x 3/4" JOISTS @ 16" O.C.
- 2x4 @ 24" O.C.
- INDICATES BEARING WALL W/ 2x6 STUDS @ 16" O.C. AT EXTERIOR AND 2x4 STUDS @ 16" O.C. AT INTERIOR.
- INDICATES PLYWOOD SHEATHING AT INTERIOR BEARING WALL. REFER TO NOTE 3 AND DETAIL 145300.

**NOTES:**

- ROOF SHEATHING TO BE 3/4" CDX (P28 240) EXTERIOR GRADE PLYWOOD. REFER TO DETAIL 65250 ADDITIONAL ROOF SHEATHING REQUIREMENTS.
- FLOOR SHEATHING TO BE 3/4" CDX PLYWOOD. REFER TO DETAIL 65250 ADDITIONAL FLOOR SHEATHING REQUIREMENTS.
- SHEATH EXTERIOR WALLS W/ 3/4" PLYWOOD. REFER TO DETAIL 145300 ADDITIONAL SHEATHING REQUIREMENTS.
- REFER TO TYPICAL STUD FRAMING DETAIL PER DETAIL 145300 FOR ALL ANCHORAGE & ADDITIONAL FRAMING INFORMATION.
- PROVIDE 2x6x3x8 PC CAP @ BEAM TO POST CONNECTION. TYP.
- PROVIDE DOUBLE STUD WHERE HEADER IS 6x10 OR GREATER AND AT GABLER TRUSS. TYP. U.A.O.

**2ND FLOOR FRAMING PLAN**  
SCALE: 1/4" = 1'-0"



PRELIMINARY PERMIT  
THIRD PARTY CERTIFICATION  
DATE: 10/15/2021  
SCALE: 1/4" = 1'-0"  
BY: ELOHUA CUBANOS

CITY AND COUNTY OF HONOLULU  
DEPARTMENT OF PLANNING AND PERMITTING

**APPROVED**

The issuance hereunder of any permit or approval of plans, specifications, and other data shall not be construed as a guarantee by, or approval of, any violation of any provisions of the code or of any other law. The issuance of a permit shall not prevent the building official from enforcing compliance with the provisions of the code and specifications of any building regulations applicable to the building or the construction of any other structure or any other law, nor shall it prevent the building official from enforcing any other provision of the code or any other law that may be applicable to the building or the construction of any other structure.

PERMIT NUMBER:  
APPROVED DATE: 08/23/2025

STATE OF HAWAII  
BY: Eodhna O'Connell

**QUALIFIED ENGINEER**  
REGISTERED PROFESSIONAL ENGINEER  
LICENSE NO. 611233-1  
ISSUED 4/26/2025

[Signature]

**3160 Residence**  
New Single Family Dwelling  
3160 Puu Paia, Unit 1,  
Honolulu, Hawaii 96817  
TMK: (1) 2-2-047-007

Architecture • Interior Design  
P.O. Box 8229  
Kalaheo, HI 96744  
(809) 235-3979 (809) 235-2658 fax



DATE: 10/15/2021

SCALE: AS NOTED

DRAWN BY:

JOB NO.:

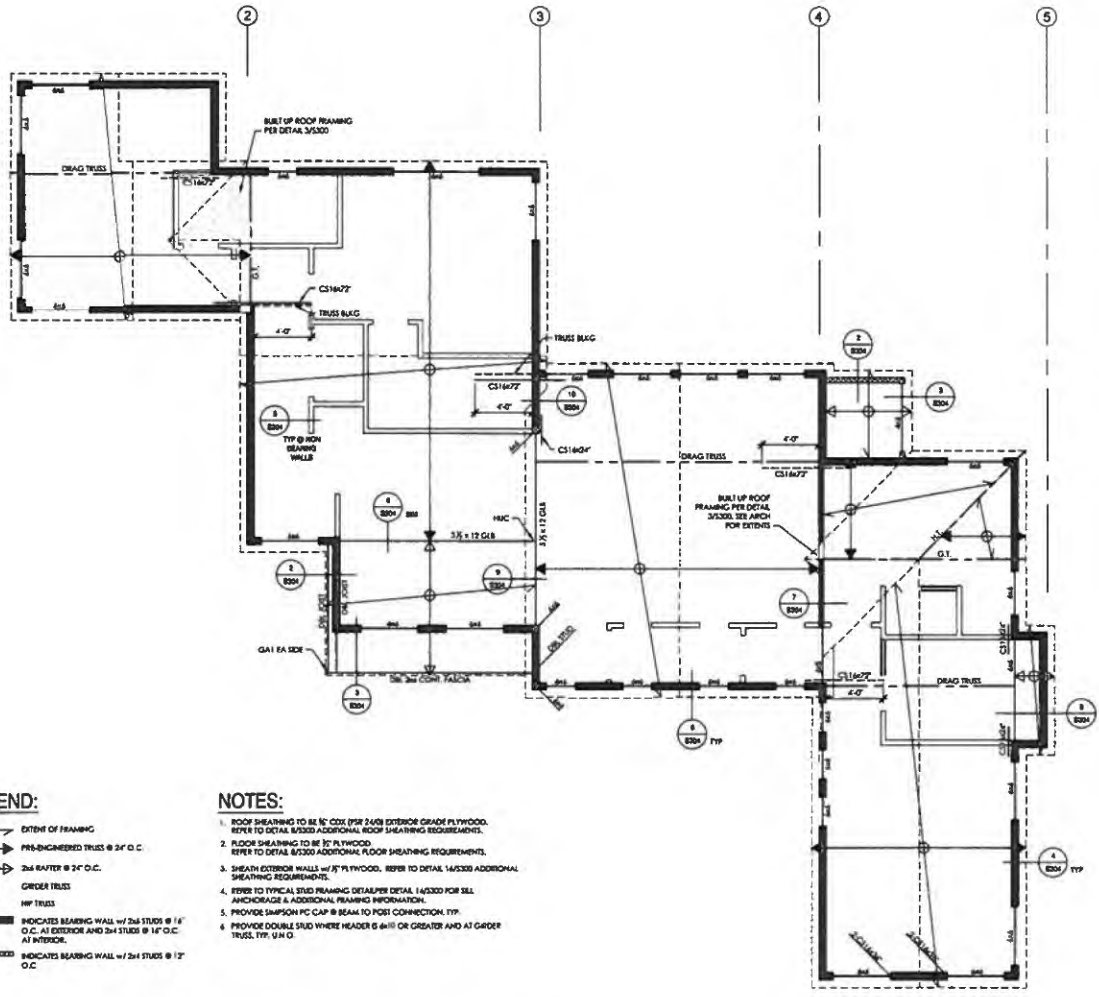
SHEET TITLE

ROOF FRAMING PLAN

**S103**

SHEET OF

HAWAIIAN PERMITS THIRD PARTY CERTIFICATION	
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<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> STRUCTURAL CODE
<input type="checkbox"/> STRUCTURE PERMITTED UNDER PERMIT	



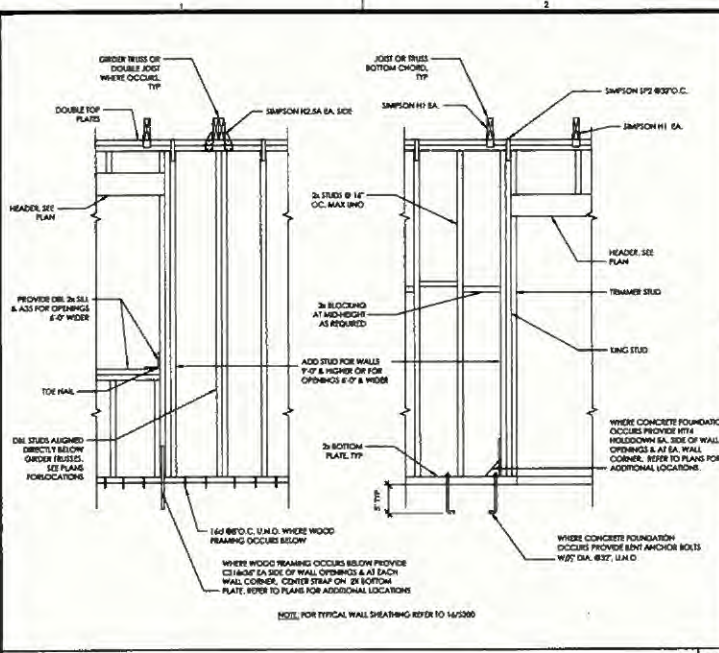
**LEGEND:**

	EXTENT OF FRAMING
	PRE-ENGINEERED TRUSS @ 24\" O.C.
	2x6 RAFTER @ 24\" O.C.
	G1: GYDRA TRUSS
	H1: HP TRUSS
	INDICATES BEARING WALL w/ 2x6 STUDS @ 16\" O.C. AT EXTERIOR AND 2x4 STUDS @ 12\" O.C. AT INTERIOR.
	INDICATES BEARING WALL w/ 2x4 STUDS @ 12\" O.C.

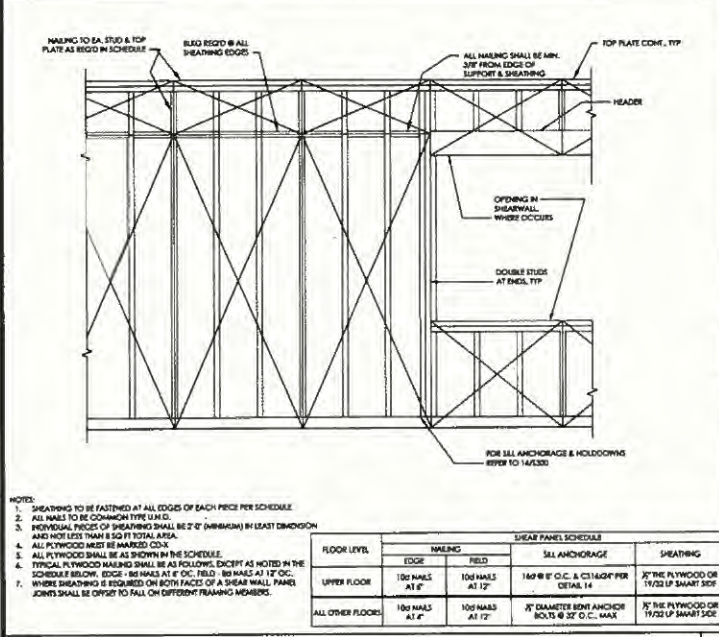
- NOTES:**
- ROOF SHEATHING TO BE 1/2\" CDX (PER 2x6) EXTERIOR GRADE PLYWOOD. REFER TO DETAIL 45320 ADDITIONAL ROOF SHEATHING REQUIREMENTS.
  - FLOOR SHEATHING TO BE 1/2\" PLYWOOD. REFER TO DETAIL 45320 ADDITIONAL FLOOR SHEATHING REQUIREMENTS.
  - SHEAATH EXTERIOR WALLS w/ 1/2\" PLYWOOD. REFER TO DETAIL 145320 ADDITIONAL SHEATHING REQUIREMENTS.
  - REFER TO TYPICAL STUD FRAMING DETAIL PER DETAIL 145320 FOR SILL ANCHORAGE & ADDITIONAL FRAMING INFORMATION.
  - PROVIDE SIMPSON PC CLAP @ BEAM TO POST CONNECTION. TYP.
  - PROVIDE DOUBLE STUD WHERE HEADER IS 6\" OR GREATER AND AT GADDER TRUSS. TYP. U.N.O.

**ROOF FRAMING PLAN**  
SCALE: 1/4\"

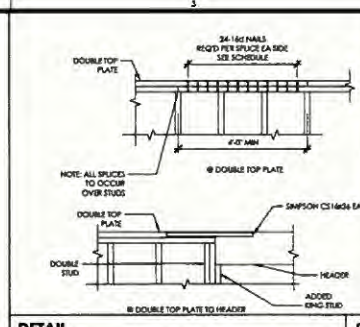




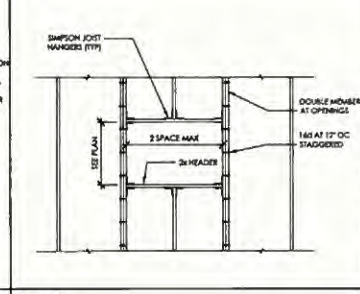
DETAIL 14



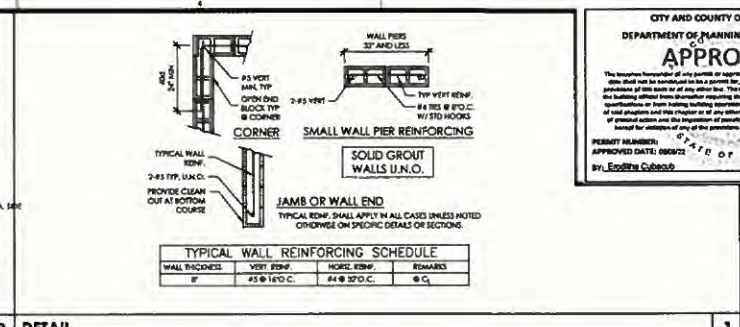
DETAIL 16



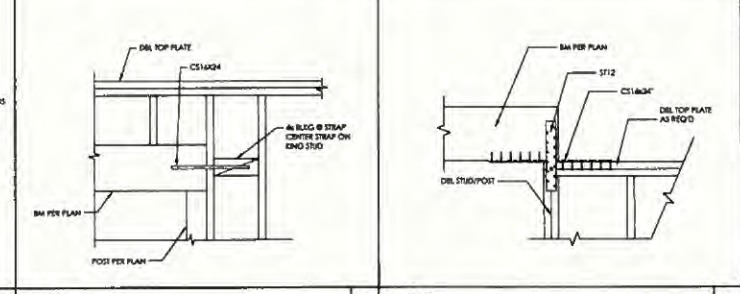
DETAIL 9



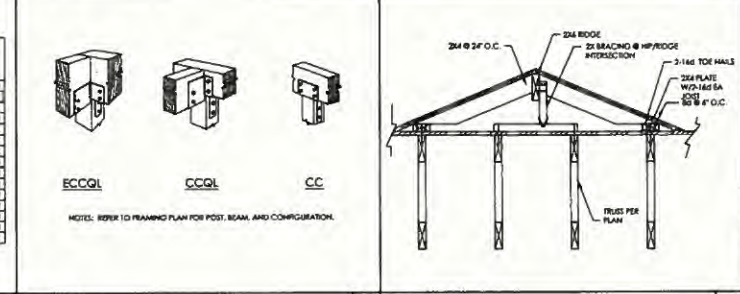
DETAIL 10



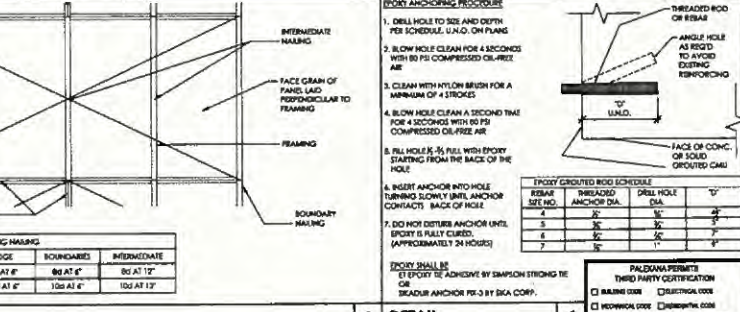
DETAIL 1



DETAIL 6



DETAIL 7



DETAIL 11

CITY AND COUNTY OF HONOLULU  
DEPARTMENT OF PLANNING AND PERMITTING  
**APPROVED**  
The Engineer certifies that the plans and specifications, and other data submitted for approval, are true and correct, and that the building will be constructed in accordance with the same. The Engineer is not responsible for any errors or omissions in the plans and specifications, or for any damage to the building or other property caused by the use of the same. The Engineer is not responsible for any damage to the building or other property caused by the use of the same. The Engineer is not responsible for any damage to the building or other property caused by the use of the same.  
PERMIT NUMBER: 2020-0012  
APPROVED DATE: 08/22/2020  
BY: E. J. ...

3160 Residence  
New Single Family Dwelling  
3160 Puu Paia, Unit 1,  
Honolulu, Hawaii 96817  
TMK: (1) 2-2-047-007

Architecture • Interior Design  
P.O. Box 3028  
Kaneohe, HI 96744  
(808) 235-5070 (808) 235-2058 fax

M Squared Design  
10/15/2021  
SCALE AS NOTED  
JOB NO.  
SHEET TITLE  
STRUCTURAL DETAILS

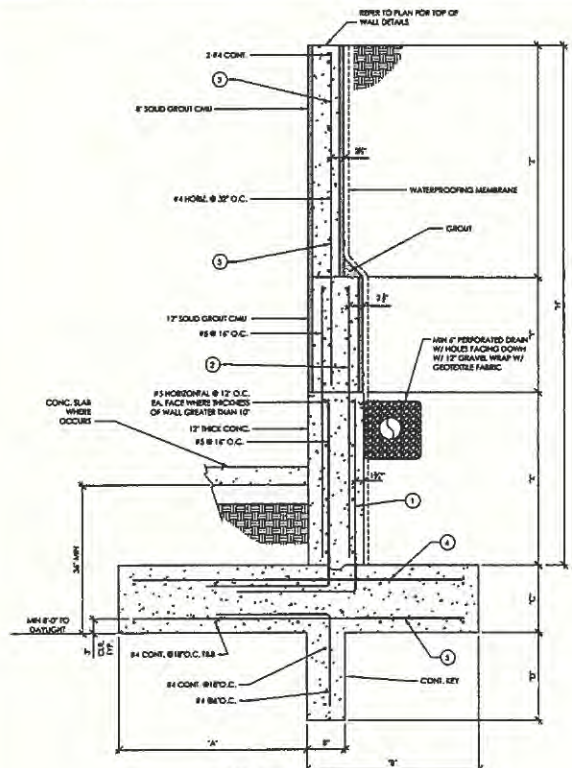
**S300**  
SHEET 07

CITY AND COUNTY OF HONOLULU  
DEPARTMENT OF PLANNING AND PERMITTING

**APPROVED**

The Engineer hereunder is not a professional engineer, architect, or other person who is not qualified to practice in the State of Hawaii. The issuance of any permit or approval of any plan or specification is not a representation or warranty of any kind by the State of Hawaii or any of its agencies. The State of Hawaii and its agencies are not responsible for the accuracy or completeness of any plan or specification or for the consequences of any action taken in reliance on any plan or specification or for the consequences of any action taken in reliance on any plan or specification or for the consequences of any action taken in reliance on any plan or specification.

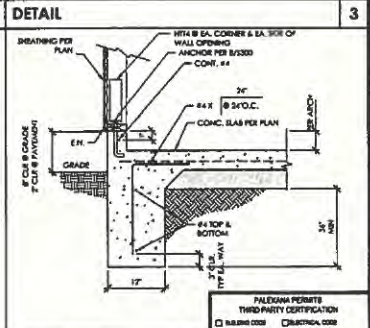
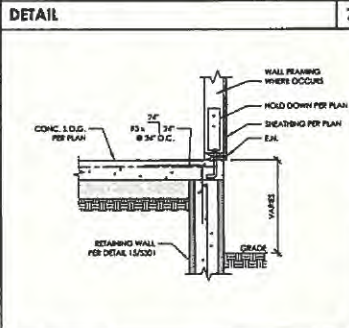
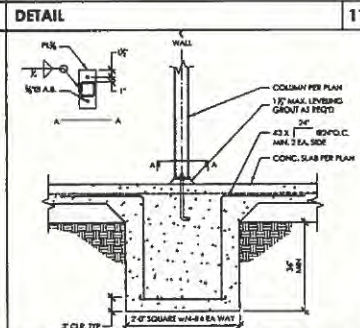
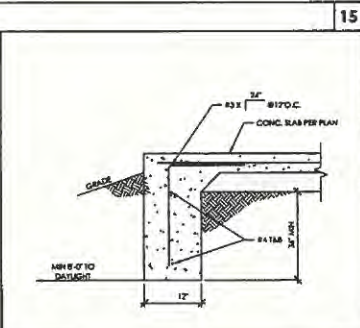
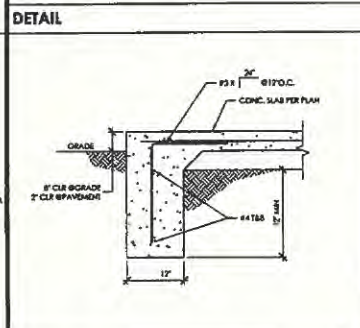
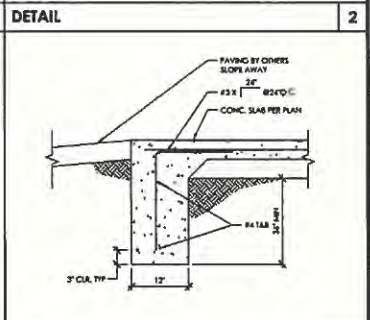
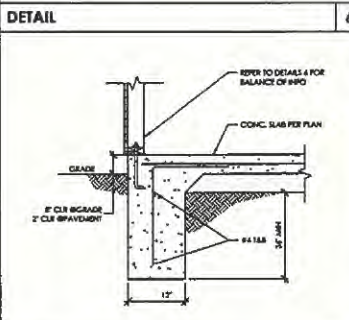
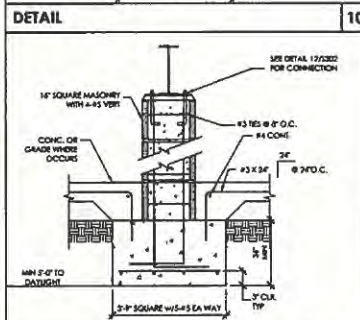
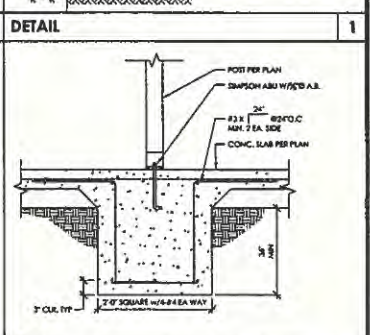
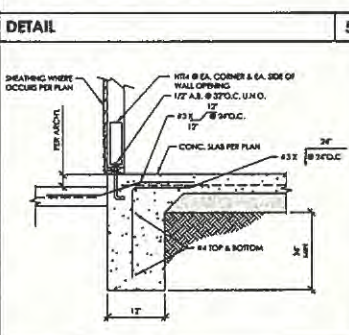
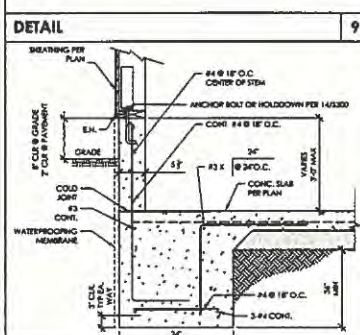
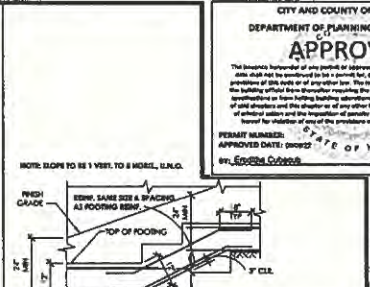
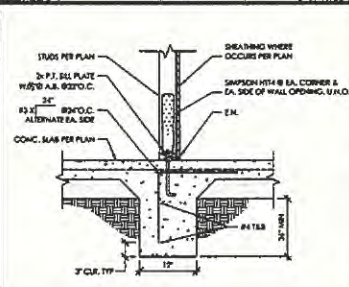
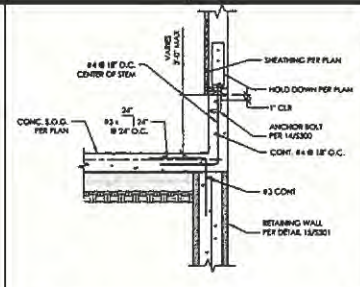
PERMIT NUMBER: 200927  
APPROVED DATE: 09/09/2021  
BY: [Signature]



NOTE:  
1 KEY NOT REQD WHERE ADJACENT SLAB OCCURS AT BOTTOM OF WALL PER PLAN  
2 MINIMUM REINFORCING LAP SPACED #4 @ 48" BAR DIAMETER  
3 TOP FOOTING AS REQD PER DETAIL 15/301

RETAINING WALL SCHEDULE

WALL DIMENSIONS										REINFORCEMENT				
H	X	T	T	A	B	C	D	1	2	3	4	5		
12'-0"	3'-0"	3'-0"	4'-0"	7'-0"	5'-1"	17"	2"	#5@12"O.C.	#5@12"O.C.	#5@12"O.C.	#4@12"O.C.	#4@12"O.C.		
10'-0"	2'-0"	2'-0"	4'-0"	7'-0"	4'-3"	12"	2"	#5@12"O.C.	#5@12"O.C.	#5@12"O.C.	#4@12"O.C.	#4@12"O.C.		
8'-0"	N/A	2'-0"	4'-0"	7'-0"	3'-0"	12"	1 1/2"	N/A	#5@12"O.C.	#5@12"O.C.	#4@12"O.C.	#4@12"O.C.		
4'-0"	N/A	N/A	4'-0"	7'-0"	1'-6"	12"	2"	N/A	N/A	#4@12"O.C.	#4@12"O.C.	#4@12"O.C.		
4'-0"	N/A	N/A	4'-0"	2'-0"	1'-2"	12"	N/A	N/A	N/A	#4@12"O.C.	#4@12"O.C.	#4@12"O.C.		



DETAIL 20

DETAIL 16

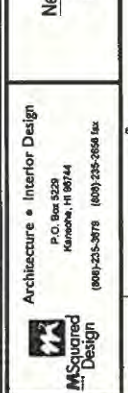
DETAIL 11

DETAIL 12

DETAIL 7

3160 Residence  
New Single Family Dwelling  
3160 Puu Paia, Unit 1,  
Honolulu, Hawaii 96817  
TMK: (1) 2-047-007

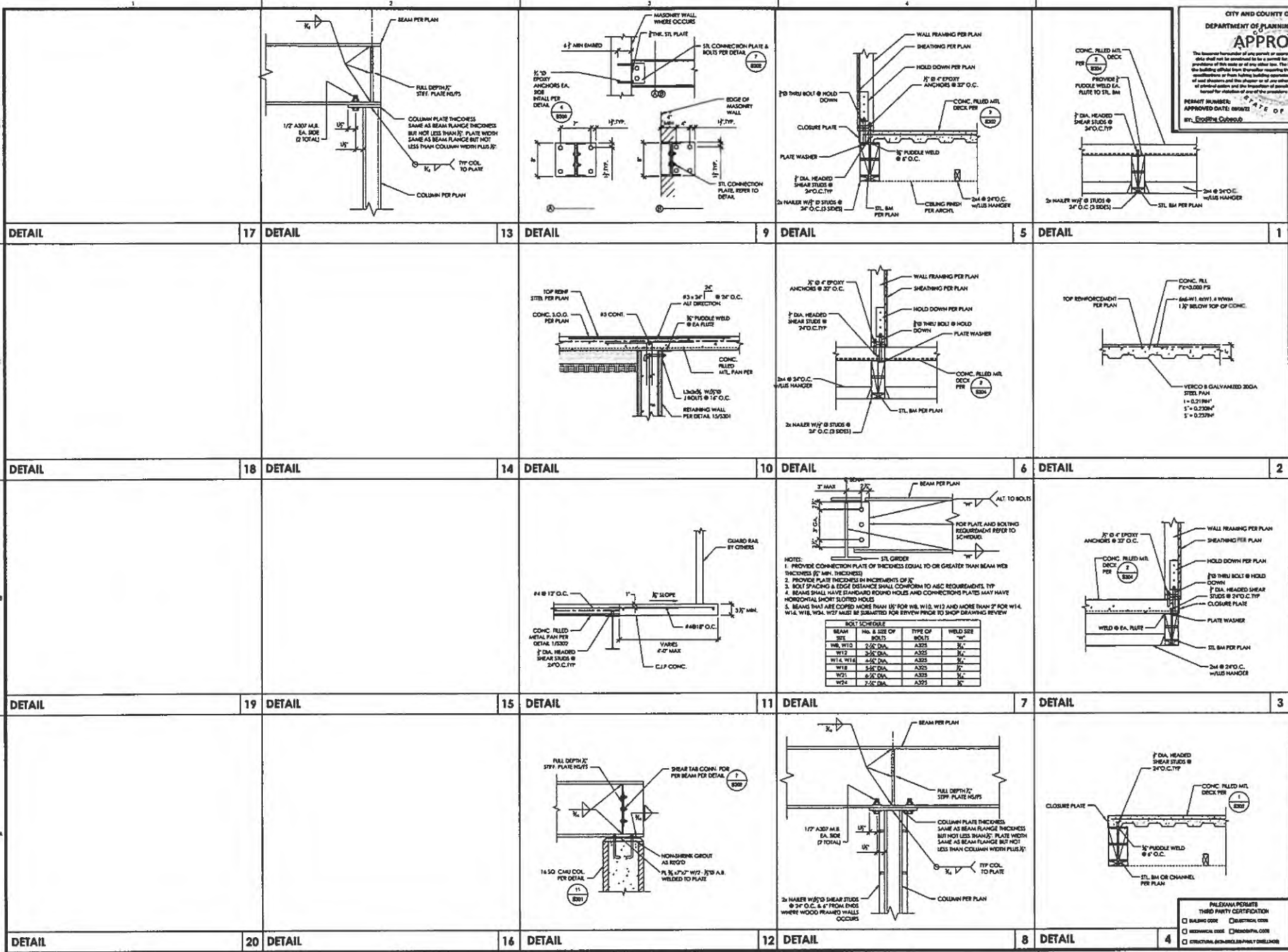
Architects • Interior Design  
P.O. Box 5209  
Honolulu, HI 96844  
(808) 235-5979 (808) 235-2668 fax



DATE: 10/15/2021  
WORK: AS NOTED  
DRAWN BY:  
JOB NO.:  
SHEET TITLE: STRUCTURAL DETAILS

**S301**

PALEKANA PERMITS  
THIRD PARTY CERTIFICATION  
 MECHANICAL CODE  
 ELECTRICAL CODE  
 STRUCTURAL AND BUILDING CODE



CITY AND COUNTY OF HONOLULU  
DEPARTMENT OF PLANNING AND PERMITTING

**APPROVED**

The Engineer hereby certifies that the plans, specifications, and other data submitted herewith are correct for the intended use, and that the building official shall not be held responsible for any violation of the provisions of the rules and regulations of the Department of Planning and Permitting, or for any other law, nor shall it be held responsible for any violation of the rules and regulations of the Department of Planning and Permitting, or for any other law, nor shall it be held responsible for any violation of the rules and regulations of the Department of Planning and Permitting, or for any other law.

PERMIT NUMBER: 88817  
APPROVED DATE: 10/15/2021  
BY: [Signature]

STATE OF HAWAII  
REGISTERED PROFESSIONAL ENGINEER  
No. 11333-E  
EXP. 4/30/28

3160 Residence  
New Single Family Dwelling  
3160 Puu Paka, Unit 1,  
Honolulu, Hawaii 96817  
TMK: (1) 2-2-047-007

Architecture • Interior Design  
P.O. Box 2229  
Kaneohe, HI 96744  
(808) 235-3075 (808) 235-3050 fax

ASquared  
Design

DATE: 10/15/2021  
SCALE: AS NOTED  
ISSUED BY:  
JOB NO.:  
SHEET TITLE: STRUCTURAL DETAILS

**S302**

PALESMAN PERMITS  
THIRD PARTY CERTIFICATION

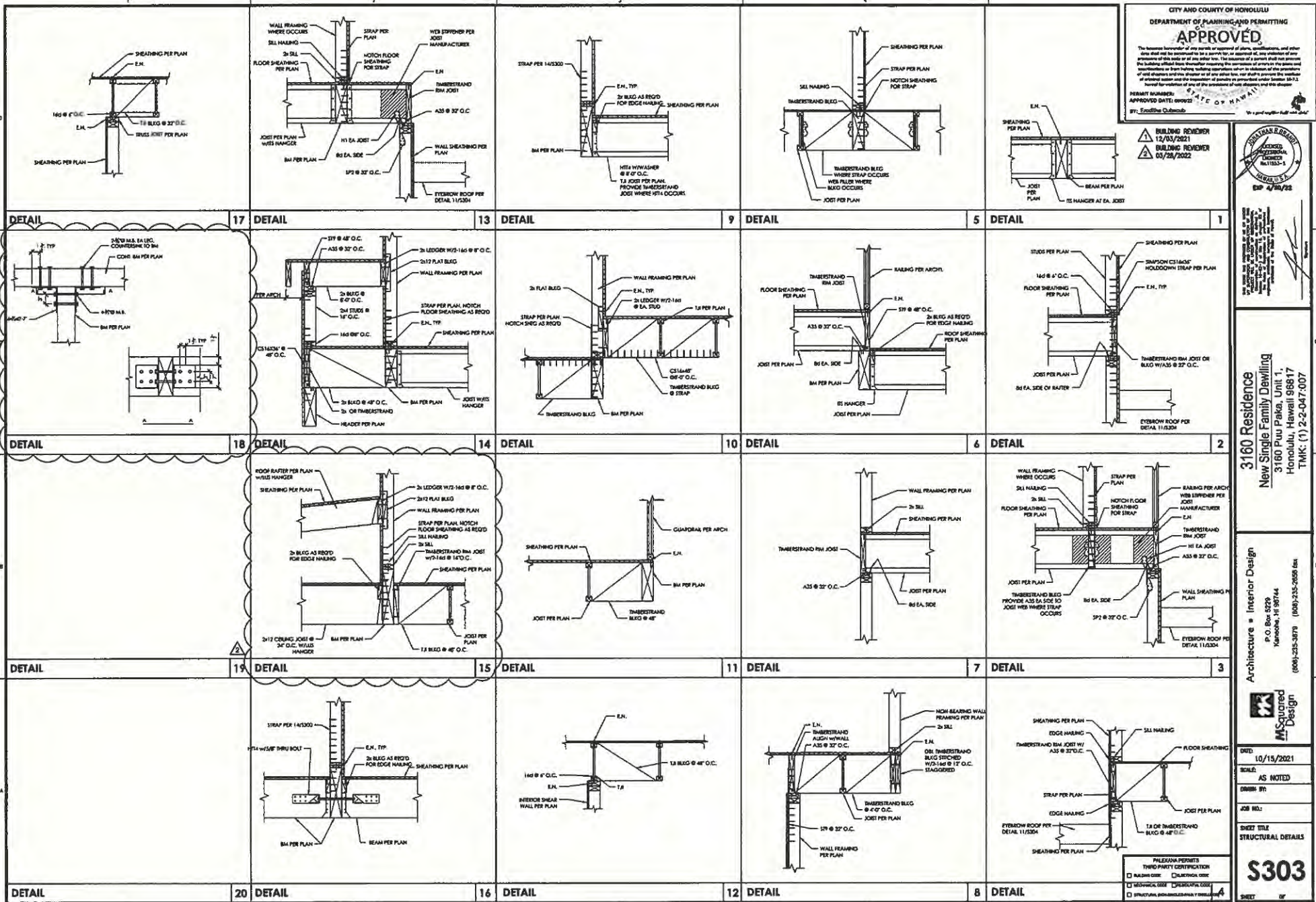
SEARCH FOR	CLASSIFICATION
RECORDING COST	CLASSIFICATION
CREATING AN ARCHIVED COPY	CLASSIFICATION

DETAIL 17      13      9      5      1

DETAIL 18      14      10      6      2

DETAIL 19      15      11      7      3

DETAIL 20      16      12      8      4



CITY AND COUNTY OF HONOLULU  
 DEPARTMENT OF PLANNING AND PERMITTING  
**APPROVED**  
 The licensee hereunder of any portion or approval of plans, specifications, and other documents shall be deemed to be a warranty for its approval of any violation of any provisions of the rules and regulations of the Department of Planning and Permitting of the City and County of Honolulu. The licensee shall be held liable for any violation of the rules and regulations of the Department of Planning and Permitting of the City and County of Honolulu. The licensee shall be held liable for any violation of the rules and regulations of the Department of Planning and Permitting of the City and County of Honolulu. The licensee shall be held liable for any violation of the rules and regulations of the Department of Planning and Permitting of the City and County of Honolulu.

PERMIT NUMBER: [blank]  
 APPROVED DATE: 06/22/2022  
 BY: [Signature]

REVISIONS  
 1. BUILDING REVIEWER 12/03/2021  
 2. BUILDING REVIEWER 03/28/2022

DATE: 4/26/22



3160 Residence  
 New Single Family Dwelling  
 3160 Puu Paka, Unit 1,  
 Honolulu, Hawaii 96817  
 TMS: (1) 2-2-047-007

Architecture = Interior Design  
 P.O. Box 5229  
 Manoa, HI 96744  
 (808) 235-3979 (808) 235-2659 fax

MSquared Design

DATE: 10/15/2021  
 SCALE: AS NOTED  
 SHEET NO: [blank]  
 JOB NO: [blank]  
 SHEET TITLE: STRUCTURAL DETAILS

**S303**

CITY AND COUNTY OF HONOLULU  
DEPARTMENT OF PLANNING AND PERMITTING

**APPROVED**

The issuance hereunder of any portion of approval of plans, specifications, and other data shall not be construed to be a guarantee by the Department of Planning and Permitting of the accuracy or of any other fact. The location of all proposed structures and the location of all other structures shall be shown on the approved plans and specifications or some other building regulation which is a part of the Department of Planning and Permitting and the approval of all such plans and specifications shall be subject to the provisions of all other laws and the regulations of all other departments of the City and County of Honolulu and the Department of Planning and Permitting under Section 10-1.3 of the Charter of the City and County of Honolulu.

PERMIT NUMBER: 17-0000000000  
APPROVED DATE: 08/02/21  
BY: [Signature]

SEALED  
HONOLULU, HAWAII  
NOV 11 2021  
17-0000000000  
EXP. 4/30/22

3160 Residence  
New Single Family Dwelling  
3160 Piu Paka, Unit 1,  
Honolulu, Hawaii 96817  
TMK: (1) 2-2-047-007

Architecture • Interior Design  
P.O. Box 5229  
Honolulu, HI 96814  
(808) 235-3670 (808) 235-2656 fax

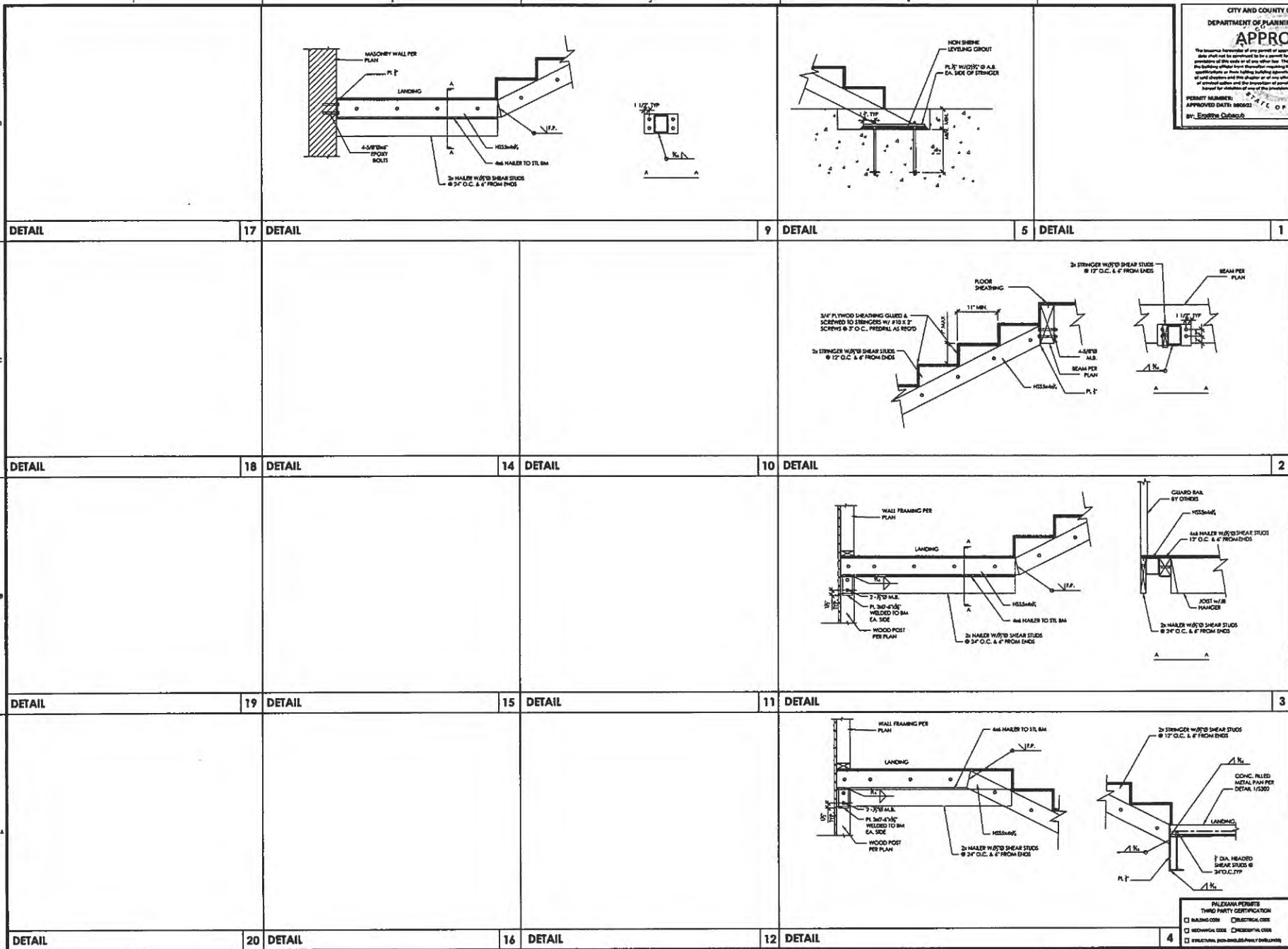


DATE: 10/15/2021  
SCALE: AS NOTED  
DRAWN BY:  
JOB NO.:  
SHEET TITLE: STRUCTURAL DETAILS  
SHEET 304

<p>17</p>	<p>9</p>	<p>5</p>	<p>1</p>
<p>18</p>	<p>14</p>	<p>10</p>	<p>6</p>
<p>15</p>	<p>11</p>	<p>7</p>	<p>3</p>
<p>20</p>	<p>16</p>	<p>12</p>	<p>8</p>
<p>4</p>			

PROVISIONAL PERMITS  
THIRD PARTY CERTIFICATION

INSURANCE CODE     ALTERNATIVE CODE  
 HAZARDOUS WASTE     CONSTRUCTION WASTE  
 CRITICAL SOURCE CONTROL     OTHER



CITY AND COUNTY OF HONOLULU  
 DEPARTMENT OF PLANNING AND PERMITTING  
**APPROVED**  
 The issuance hereunder of any permit or approval of plans, specifications, and other data shall not be construed to be a warranty, an approval, or a guarantee of any kind or of any other law. The recipient of a permit shall not be relieved of any liability or responsibility for the building or other structure constructed thereunder or for any other law. The recipient of a permit shall not be relieved of any liability or responsibility for the building or other structure constructed thereunder or for any other law. The recipient of a permit shall not be relieved of any liability or responsibility for the building or other structure constructed thereunder or for any other law.  
 PERMIT NUMBER: 1806022  
 APPROVED DATE: 10/15/2021  
 BY: EQUUS QUINLAN



3160 Residence  
 New Single Family Dwelling  
 3160 Puu Paka, Unit 1,  
 Honolulu, Hawaii 96817  
 TMK: (1) 2-0-047-007

Architecture • Interior Design  
 P.O. Box 5229  
 Kaneohe, HI 96744  
 (808) 235-3979 (808) 235-2668 fax

**M Squared Design**

DATE: 10/15/2021  
 SCALE: AS NOTED  
 DRAWN BY:  
 JOB NO.:  
 SHEET TITLE: STRUCTURAL DETAILS

**S305**

PERMITTEE  
 THIRD PARTY CERTIFICATION  
 BUILDING CODE  ELECTRICAL CODE  
 MECHANICAL CODE  CHEMICAL CODE  
 STRUCTURAL PERMITS/DESIGN/DEVELOPMENT



CITY AND COUNTY OF HONOLULU  
DEPARTMENT OF PLANNING AND PERMITTING

**APPROVED**

The issuance hereunder of any permit or approval of plans, specifications, and other data shall not be construed to be a promise that, or approval of, any violation of any provisions of this code or any other law. The issuance of a permit shall not prevent the building official from thereafter requiring the suspension or revocation of the permit and modifications or new building systems when in violation of the provisions of said chapters and this chapter or of any other law, nor shall it prevent the building official from requiring the suspension or revocation of any permit or approval of plans, specifications, and other data when in violation of the provisions of said chapters and this chapter.

PERMIT NUMBER: 2021-00000  
APPROVED DATE: 04/09/21  
STATE OF HAWAII  
BY: Eric Oba Oba



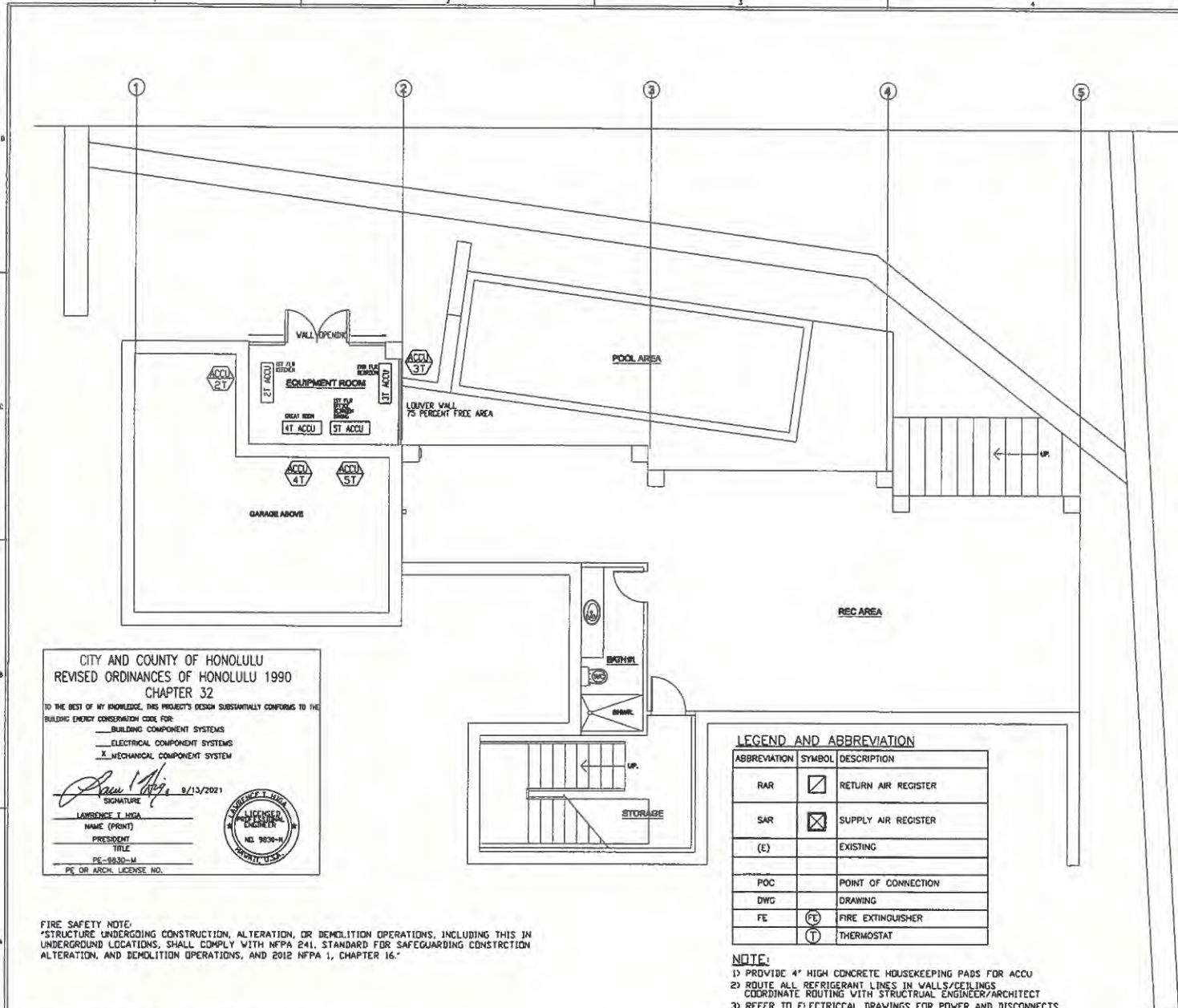
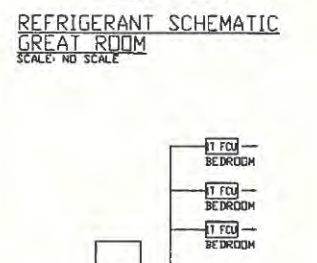
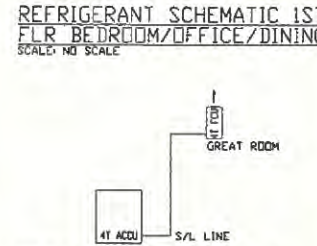
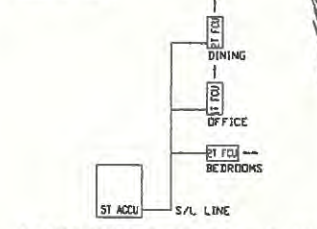
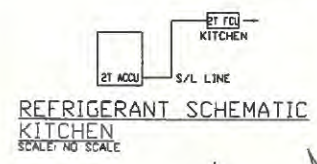
*Eric Oba Oba*  
Professional Engineer  
License No. 10034  
State of Hawaii

**Residence 3160 Puu Paka Unit 1**  
3160 Puu Paka Unit 1,  
Honolulu, Hawaii 96817  
TRAC (1) 2-047-007

**Architectural Interior Design**  
P.O. Box 2209  
Honolulu, HI 96804  
609-525-5299 609-525-5298

**M**  
McSquand  
Design

DATE: 03/10/2021  
SCALE: AS NOTED  
DRAWN BY:  
JOB NO.:  
SHEET TITLE:  
REC DECK PLAN  
MECHANICAL  
M001  
SHEET 01



**LEGEND AND ABBREVIATION**

ABBREVIATION	SYMBOL	DESCRIPTION
RAR	<input checked="" type="checkbox"/>	RETURN AIR REGISTER
SAR	<input checked="" type="checkbox"/>	SUPPLY AIR REGISTER
(E)		EXISTING
POC		POINT OF CONNECTION
DWG		DRAWING
FE	<input checked="" type="checkbox"/>	FIRE EXTINGUISHER
T	<input checked="" type="checkbox"/>	THERMOSTAT

- NOTE:**
- 1) PROVIDE 4" HIGH CONCRETE HOUSEKEEPING PADS FOR ACCU
  - 2) ROUTE ALL REFRIGERANT LINES IN WALLS/CEILINGS COORDINATE ROUTING WITH STRUCTURAL ENGINEER/ARCHITECT
  - 3) REFER TO ELECTRICAL DRAWINGS FOR POWER AND DISCONNECTS TO ACCUS
  - 4) PROVIDE SERVICE AND ACCESS SPACE FOR ACCUS PER MANUFACTURER RECOMMENDATIONS

CITY AND COUNTY OF HONOLULU  
REVISED ORDINANCES OF HONOLULU 1990  
CHAPTER 32

TO THE BEST OF MY KNOWLEDGE, THIS PROJECT'S DESIGN SUBSTANTIALLY CONFORMS TO THE BUILDING ENERGY CONSERVATION CODE FOR:

- BUILDING COMPONENT SYSTEMS
- ELECTRICAL COMPONENT SYSTEMS
- MECHANICAL COMPONENT SYSTEM

*Eric Oba Oba*  
SIGNATURE 9/23/2021

LAWRENCE T. HIGA  
NAME (PRINT)  
PRESIDENT  
TITLE  
PE-5830-M  
PE OR ARCH. LICENSE NO.

LICENSED PROFESSIONAL ENGINEER  
NO. 9830  
HAWAII, U.S.A.

**FIRE SAFETY NOTE:**  
STRUCTURE UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION OPERATIONS, INCLUDING THIS IN UNDERGROUND LOCATIONS, SHALL COMPLY WITH NFPA 241, STANDARD FOR SAFEGUARDING CONSTRUCTION ALTERATION, AND DEMOLITION OPERATIONS, AND 2012 NFPA 1, CHAPTER 16.

**REC DECK PLAN - MECHANICAL**

0 2' 4' 6'  
SCALE: 1/4" = 1' - 0"



CITY AND COUNTY OF HONOLULU  
 DEPARTMENT OF PLANNING AND PERMITTING  
**APPROVED**  
 This document is a permit or approval of plans, specifications, and other data and shall be construed to be a permit for the construction, installation, and other work of the nature of any other law. The issuance of a permit does not constitute a warranty of the accuracy of the information provided, nor does it constitute a guarantee of the safety or health of the building or the safety of the occupants. The permit holder shall be responsible for the safety of the building and the safety of the occupants. The permit holder shall be responsible for the safety of the building and the safety of the occupants. The permit holder shall be responsible for the safety of the building and the safety of the occupants.  
 PERMIT NUMBER: 190922  
 APPROVED DATE: 03/10/2021  
 BY: ENGINEER CUBANOS



*E. Cubanos*  
 E. Cubanos, P.E.  
 1000 Kalia Road, Suite 1000  
 Honolulu, HI 96813  
 (808) 551-1111

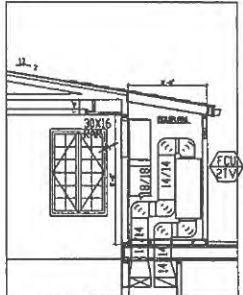
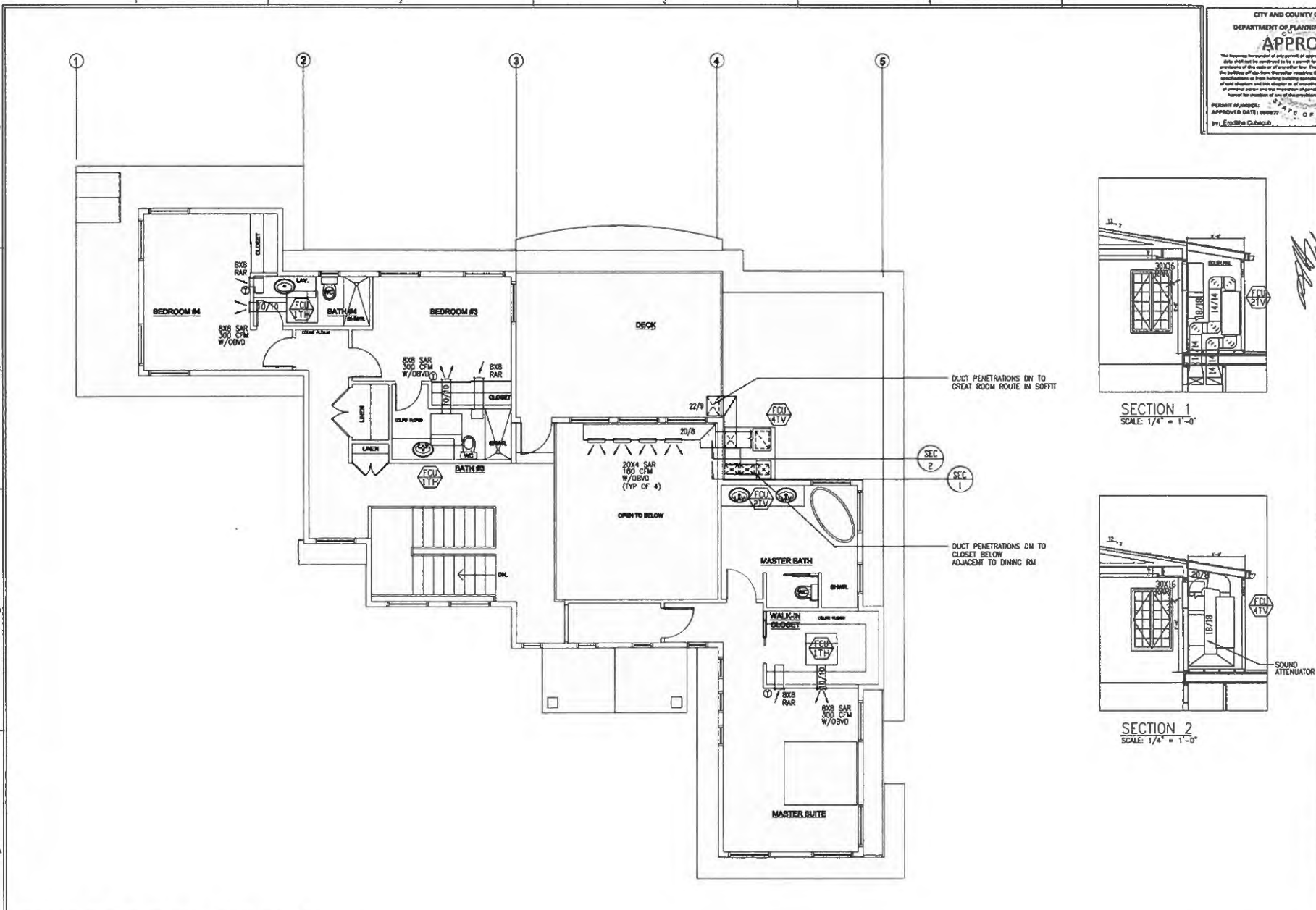
**Residence 3160 Puu Paia Unit 1**  
 3160 Puu Paia Unit 1,  
 Honolulu, Hawaii 96817  
 TMK: (1) 2-2-047-007

Architecture Interior Design  
 P.O. Box 6220  
 Kaneohe, HI 96744  
 (808) 236-9979 (808) 236-2888 fax

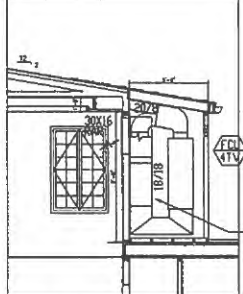


DATE: 03/10/2021  
 SCALE: AS NOTED  
 DRAWN BY:  
 JOB NO.:  
 SHEET TITLE:  
 SECOND FLOOR PLAN  
 MECHANICAL

M003  
 SHEET OF

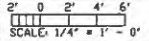


SECTION 1  
 SCALE: 1/4" = 1'-0"



SECTION 2  
 SCALE: 1/4" = 1'-0"

SECOND FLOOR PLAN - MECHANICAL

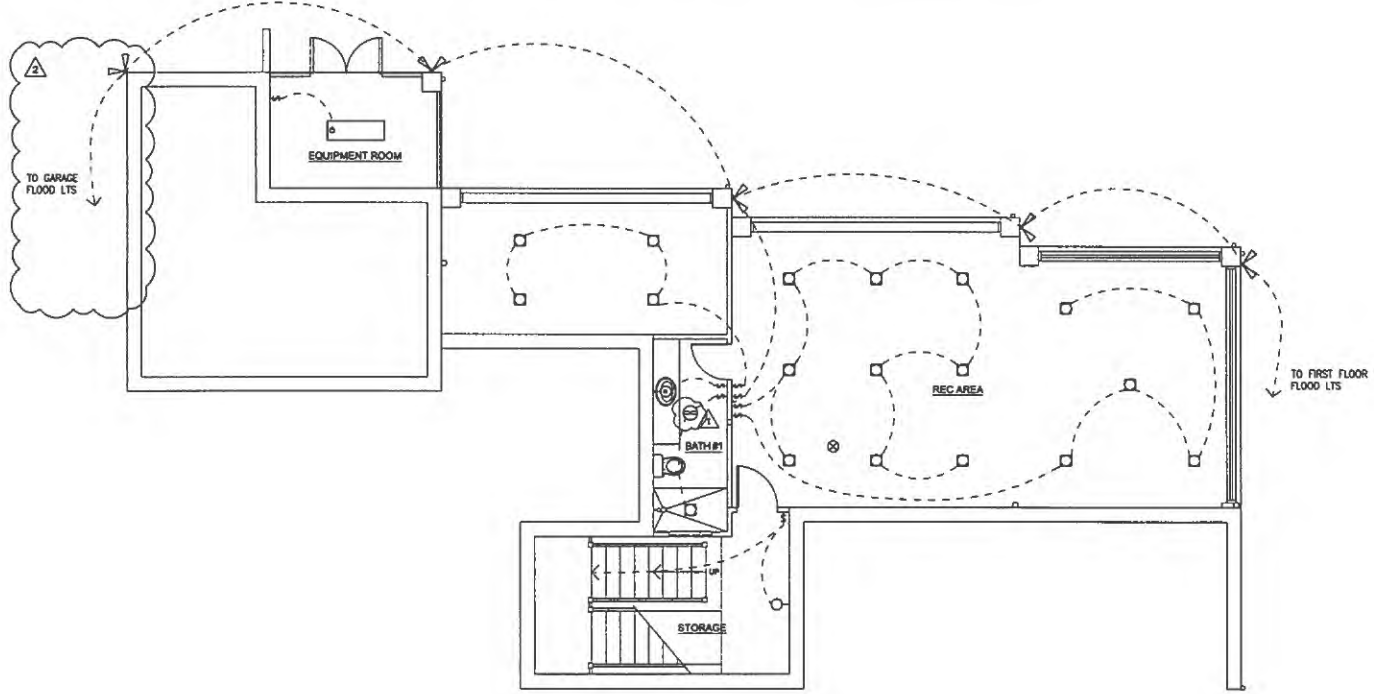




CITY AND COUNTY OF HONOLULU  
 DEPARTMENT OF PLANNING AND PERMITTING  
**APPROVED**  
 The license holder of any permit or approval of plans, specifications, and other data shall not be considered to be a guarantor, in any manner, of the compliance of the work or of any other law. The licensee of a permit shall not permit the building unless there has been compliance with the provisions of the provisions of any other law, nor shall it permit the building of any other law and the imposition of penalties as specified under Section 10-1.1 hereof for violation of any of the provisions of any other law.

PERMIT NUMBER: 03/28/2022  
 APPROVED DATE: 03/28/2022  
 BY: *Elyse O'Connell*

1 BUILDING REVIEWER  
 12/03/2021  
 2 BUILDING REVIEWER  
 03/28/2022



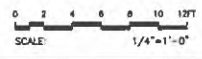
(B1) REC DECK LIGHTING PLAN  
 SCALE: 1/4" = 1'-0"

**GENERAL ELECTRICAL NOTES**

1. THE ALARM DEVICES SHALL BE INTERCONNECTED IN A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE W/ ALL INTERFERING DOORS CLOSED.
2. ADD ETHERNET CABLES/JACKS NEAR TV CABLES (ALL LOCATIONS)
3. ALL RECESSED LIGHTS ON SLOPING CEILING SHALL BE ADJUSTABLE TO MATCH THE CEILING PITCH, HALO SLS SERIES TYPE OR APPROVED EQUAL.

**ELECTRICAL LEGEND**

- |  |  |   |
|--|--|---|
| <ul style="list-style-type: none"> <li>⊔ ⊔ DUPLEX OUTLET (DASHED BELOW/ABOVE)</li> <li>⊔ GROUND FAULT INTERRUPTOR DUPLEX OUTLET</li> <li>⊔ WATERPROOF DUPLEX OUTLET</li> <li>⊔ 220V APPLIANCE OUTLET</li> <li>⊔ JUNCTION BOX</li> <li>⊔ CABLE TV JACK</li> <li>⊔ TELEPHONE JACK</li> <li>⊔ SURFACE CEILING MOUNTED LED LIGHT FIXTURE</li> <li>⊔ WALL MOUNTED LED LIGHT FIXTURE</li> <li>⊔ WALL MOUNTED INCANDESCENT LIGHT FIXTURE WATERPROOF</li> <li>⊔ PENDANT LIGHT FIXTURE</li> </ul> | <ul style="list-style-type: none"> <li>⊔ GARAGE DOOR SENSOR</li> <li>⊔ RECESSED LED LIGHT FIXTURE</li> <li>⊔ RECESSED LED LIGHT FIXTURE WATERPROOF</li> <li>⊔ EXHAUST FAN W/ LIGHT, VTR</li> <li>⊔ EXHAUST FAN, VENT TO EXTERIOR</li> <li>⊔ SURFACE CEILING MOUNTED LED LIGHT FIXTURE</li> <li>⊔ FLOOD LIGHT W/ MOTION SENSOR</li> <li>⊔ ELECTRICAL PANEL</li> <li>⊔ SWITCH</li> <li>⊔ 3 WAY SWITCH</li> <li>⊔ 4 WAY SWITCH</li> <li>⊔ LIGHT W/ SEPARATE FAN SWITCH</li> </ul> | <div style="border: 1px dashed black; padding: 5px; margin-bottom: 10px;">       CEILING MOUNTED UL LISTED SMOKE DETECTOR; HARDWIRED W/ BATTERY BACK-UP. SMOKE AND CARBON MONOXIDE DETECTOR TO MEET UL217 / UL207 &amp; INSTALLED IN ACCORDANCE W/ R314 / R315 &amp; NFPA72 / NFPA720     </div> <ul style="list-style-type: none"> <li>⊔ DOOR BELL BUTTON</li> <li>⊔ DOOR BELL CHIME</li> <li>⊔ GARAGE DOOR OPERATOR SWITCH</li> <li>⊔ GARBAGE DISPOSAL W/ PUSH BUTTON SWITCH</li> <li>⊔ GARAGE DOOR OPERATOR</li> </ul> |
|--|--|---|



PALEKANA PERMITS  
 THIRD PARTY CERTIFICATION

BUILDING CODE     ELECTRICAL CODE  
 MECHANICAL CODE     RESIDENTIAL CODE  
 STRUCTURAL (NCA-SINGLE/FAMILY DWELLINGS)

3160 Residence  
 New Single Family Dwelling  
 3160 Puu Paka, Unit 1,  
 Honolulu, Hawaii 96817  
 TMK: (1) 2-2-047-007

Architecture • Interior Design  
 P.O. Box 5728  
 Kaneohe, HI 96744  
 (808) 233-3079 (808) 233-2668 fax  
**ASquared Design**

DATE: 10/15/2021  
 SCALE: AS NOTED  
 DRAWN BY:  
 RVP NCL  
 DDDY TITLE: REC DECK LIGHTING PLAN  
 E101  
 03/27



**APPROVED**

REASON FOR DENIAL:  
 1/15/2021  
 REASON FOR REVIEW:  
 01/28/2022

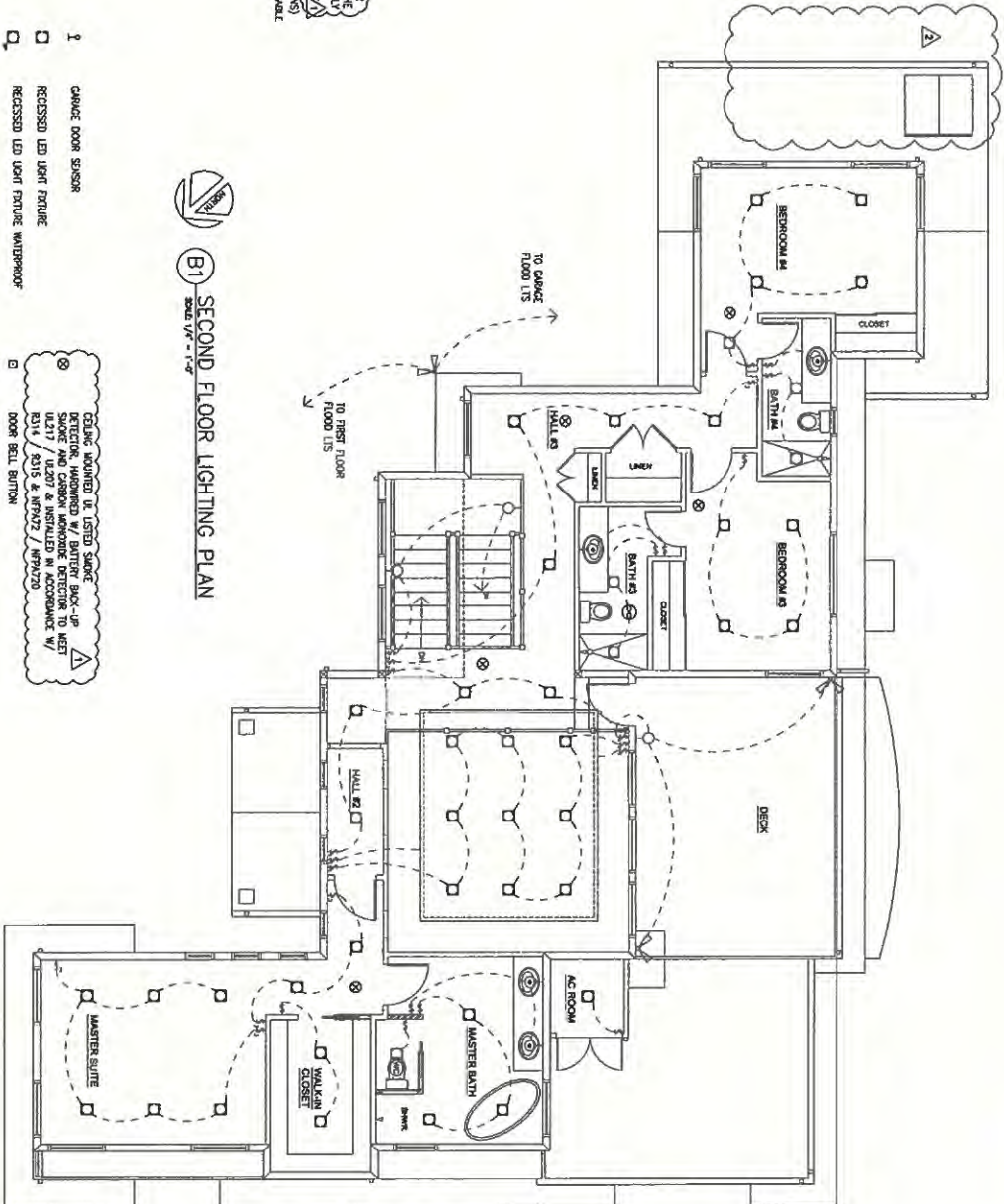


3160 Residence  
 New Single Family Dwelling  
 3160 Puu Paka, Unit 1,  
 Honolulu, Hawaii 96817  
 TMK: (1) 2-2-047:007

Architecture • Interior Design  
 P.O. Box 5229  
 Kaneohe, HI 96744  
 (808)-235-3679 (808)-235-2656 fax

DATE: 01/28/21  
 SCALE: AS NOTED  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]  
 PROJECT: 3160  
 SHEET TITLE: SECOND FLOOR LIGHTING PLAN  
 SHEET NO.: E103

PALMYRA PERMITS  
 THIRD PARTY CERTIFICATION  
 BUILDING CODE  ELECTRICAL CODE  
 MECHANICAL CODE  CHEMICAL CODE  
 STRUCTURAL/GEOTECHNICAL/HAZARDOUS



**B1 SECOND FLOOR LIGHTING PLAN**  
 SCALE 1/4" = 1'-0"

**GENERAL ELECTRICAL NOTES**

1. ALL RECESSED LIGHTS ON SLOPING CEILING SHALL BE ADJUSTABLE TO MATCH THE CEILING PROFILES AND SPACING TYPE OR APPROVED EQUAL.
2. ALL RECESSED LIGHTS ON SLOPING CEILING SHALL BE ADJUSTABLE TO MATCH THE CEILING PROFILES AND SPACING TYPE OR APPROVED EQUAL.
3. ALL RECESSED LIGHTS ON SLOPING CEILING SHALL BE ADJUSTABLE TO MATCH THE CEILING PROFILES AND SPACING TYPE OR APPROVED EQUAL.

- ELECTRICAL LEGEND**
- ⊕ DUPLEX OUTLET (RATED BELOW/ABOVE)
  - ⊕ GROUND FAULT INTERRUPTOR
  - ⊕ DUPLEX OUTLET
  - ⊕ WATERPROOF DUPLEX OUTLET
  - ⊕ 220V APPLIANCE OUTLET
  - ⊕ JUNCTION BOX
  - ⊕ CABLE TV JACK
  - ⊕ TELEPHONE JACK
  - ⊕ SURFACE CEILING MOUNTED LED LIGHT FIXTURE
  - ⊕ WALL MOUNTED LED LIGHT FIXTURE
  - ⊕ WALL MOUNTED MANAGEMENT LIGHT FIXTURE WATERPROOF
  - ⊕ PENDANT LIGHT FIXTURE

- ⊕ CHANGE DOOR SENSOR
- ⊕ RECESSED LED LIGHT FIXTURE
- ⊕ RECESSED LED LIGHT FIXTURE WATERPROOF
- ⊕ EXHAUST FAN W/ LIGHT, VFR
- ⊕ EXHAUST FAN VENT TO EXTERIOR
- ⊕ SURFACE CEILING MOUNTED LED LIGHT FIXTURE
- ⊕ FLOOD LIGHT W/ MOTION SENSOR
- ⊕ ELECTRICAL PANEL
- ⊕ SWITCH
- ⊕ 3 WAY SWITCH
- ⊕ 4 WAY SWITCH
- ⊕ LIGHT W/ SEPARATE FAN SWITCH

- ⊕ CEILING MOUNTED UL LISTED SMOKE DETECTOR, HARDWIRED W/ BATTERY BACK-UP (UL811 / UL812 / UL813 / UL814 / UL815 & IFFP422 / IFFP420)
- ⊕ DOOR BELL CHIME
- ⊕ DOOR OPERATOR SWITCH
- ⊕ GARAGE OPERATOR W/ PUSH BUTTON SWITCH
- ⊕ GARAGE DOOR OPERATOR
- ⊕ CONNECT HAZARD STRIP LED LIGHTS 12V HIGH OUTPUT W/ DIMMER
- ⊕ ACQUA 200V DIRECT CONNECTION



CITY AND COUNTY OF HONOLULU  
 DEPARTMENT OF PLANNING AND PERMITTING  
**APPROVED**  
 The issuance hereunder of any permit or approval of plans, specifications, and other data shall not be construed to be a guarantee, or approval of, the reliability of any information of this nature or of any other law. The issuance of a permit shall not prevent the building official from thereafter requiring the improvement of any building or other structure or from taking building enforcement action in violation of the provisions of said chapters and the chapter or of any other law. No permit is granted in violation of general laws and the provisions of said chapters and the chapter.  
 PERMIT NUMBER: 088002  
 APPROVED DATE: 03/28/2022  
 BY: SCOTT CLARKE  
 STATE OF HAWAII

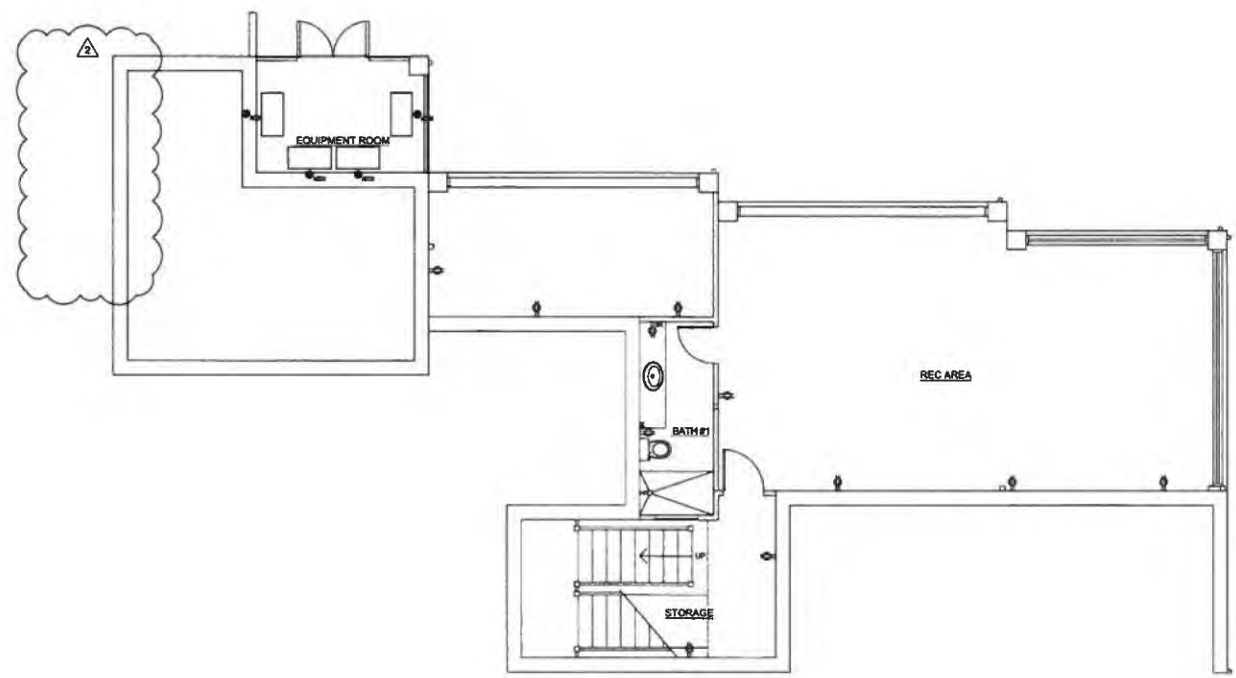
▲ BUILDING REVIEWER  
 12/03/2021  
 ▲ BUILDING REVIEWER  
 03/28/2022

MADE H MATHEM  
 LICENSED PROFESSIONAL ARCHITECT  
 No. 7958  
 HAWAII, U.S.A.  
 EDP 43002

3160 Residence  
 New Single Family Dwelling  
 3160 Pua Paka, Unit 1,  
 Honolulu, Hawaii 96817  
 TMK: (1) 2-2-047-007

Architecture • Interior Design  
 P.O. Box 2228  
 Kaneohe, HI 96744  
 (808) 238-3078 (808) 235-2658 fax  
 ASQUARED DESIGN

DATE: 10/15/2021  
 SCALE: AS NOTED  
 DRAWN BY:  
 JOB NO.:  
 SHEET TITLE: REC DECK POWER PLAN  
 E104  
 2021



(B1) REC DECK POWER PLAN  
 SCALE: 1/4" = 1'-0"

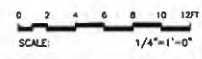
**GENERAL ELECTRICAL NOTES**

1. THE ALARM DEVICES SHALL BE INTERCONNECTED IN A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE W/ ALL INTERFERING DOORS CLOSED.
2. ADD ETHERNET CABLES/JACKS NEAR TV CABLES (ALL LOCATIONS)
3. ALL RECESSED LIGHTS ON SLOPING CEILING SHALL BE ADJUSTABLE TO MATCH THE CEILING PITCH, HALO SL6 SERIES TYPE OR APPROVED EQUAL.

**ELECTRICAL LEGEND**

- |   |   |   |   |
|---|---|---|---|
| ⏏ | DUPLEX OUTLET (DASHED BELOW/ABOVE)                    | I | GARAGE DOOR SENSOR                        |
| ⏏ | GROUND FAULT INTERRUPTOR<br>DUPLEX OUTLET             | □ | RECESSED LED LIGHT FIXTURE                |
| ⏏ | WATERPROOF DUPLEX OUTLET                              | □ | RECESSED LED LIGHT FIXTURE WATERPROOF     |
| ● | 220V APPLIANCE OUTLET                                 | ⊠ | EXHAUST FAN W/ LIGHT, VTR                 |
| ⊞ | JUNCTION BOX  | ⊞ | EXHAUST FAN VENT TO EXTERIOR              |
| ⏏ | CABLE TV JACK   | ⏏ | SURFACE CEILING MOUNTED LED LIGHT FIXTURE |
| ⏏ | TELEPHONE JACK  | ⏏ | FLOOD LIGHT W/ MOTION SENSOR              |
| ⊞ | SURFACE CEILING MOUNTED LED LIGHT FIXTURE             | ⏏ | ELECTRICAL PANEL                          |
| ⊞ | WALL MOUNTED LED LIGHT FIXTURE                        | ⏏ | SWITCH                                    |
| ⊞ | WALL MOUNTED INCANDESCENT<br>LIGHT FIXTURE WATERPROOF | ⏏ | 3 WAY SWITCH                              |
| ⊞ | PENDANT LIGHT FIXTURE                                 | ⏏ | 4 WAY SWITCH                              |
|   |   | ⏏ | LIGHT W/ SEPARATE FAN SWITCH              |
|   |   | ⏏ | GARAGE DOOR OPERATOR                      |
|   |   | ⏏ | SOFFIT LIGHT COVE                         |
|   |   | ⏏ | ACCU, 208V DIRECT CONNECTION              |

CEILING MOUNTED UL LISTED SMOKE DETECTOR, HARDWIRED W/ BATTERY BACK-UP SMOKE AND CARBON MONOXIDE DETECTOR TO MEET UL217 / UL207 & INSTALLED IN ACCORDANCE W/ R314 / R315 & NFPA72 / NFPA720



PALEKANA PERMITS  
 THIRD PARTY CERTIFICATION  
 BUILDING CODE     ELECTRICAL CODE  
 MECHANICAL CODE     RESIDENTIAL CODE  
 STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)



CITY AND COUNTY OF HONOLULU  
 DEPARTMENT OF PLANNING AND PERMITTING  
**APPROVED**  
 The issuance hereof is not a guarantee of approval of plans, specifications, and other data submitted hereon for a permit fee, or approval of any portion of any portion of the same or of any other law. The issuance of a permit shall not constitute the building official's endorsement regarding the construction of any part of the structure, or the building's compliance with any applicable code or ordinance. It is the responsibility of the permittee to ensure that all construction complies with all applicable codes and ordinances, and the Department of Planning and Permitting shall not be held responsible for any violation of any applicable code or ordinance. The Department of Planning and Permitting shall not be held responsible for any violation of any applicable code or ordinance. The Department of Planning and Permitting shall not be held responsible for any violation of any applicable code or ordinance.

PERMIT NUMBER: \_\_\_\_\_  
 APPROVED DATE: 03/03/2021

BUILDING REVIEWER  
 12/03/2021  
 BUILDING REVIEWER  
 03/28/2022



PALEKANA PERMITS  
 THIRD PARTY CERTIFICATION  
 BUILDING CODE  ELECTRICAL CODE  
 MECHANICAL CODE  RESIDENTIAL CODE  
 STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)

3160 Residence  
 New Single Family Dwelling  
 3160 Pua Paka, Unit 1,  
 Honolulu, Hawaii 96817  
 TMC (1) 2-2-047-007

Architecture • Interior Design  
 P.O. Box 5229  
 Manoa, HI 96744  
 (809) 235-3819 (809) 235-2606 fax

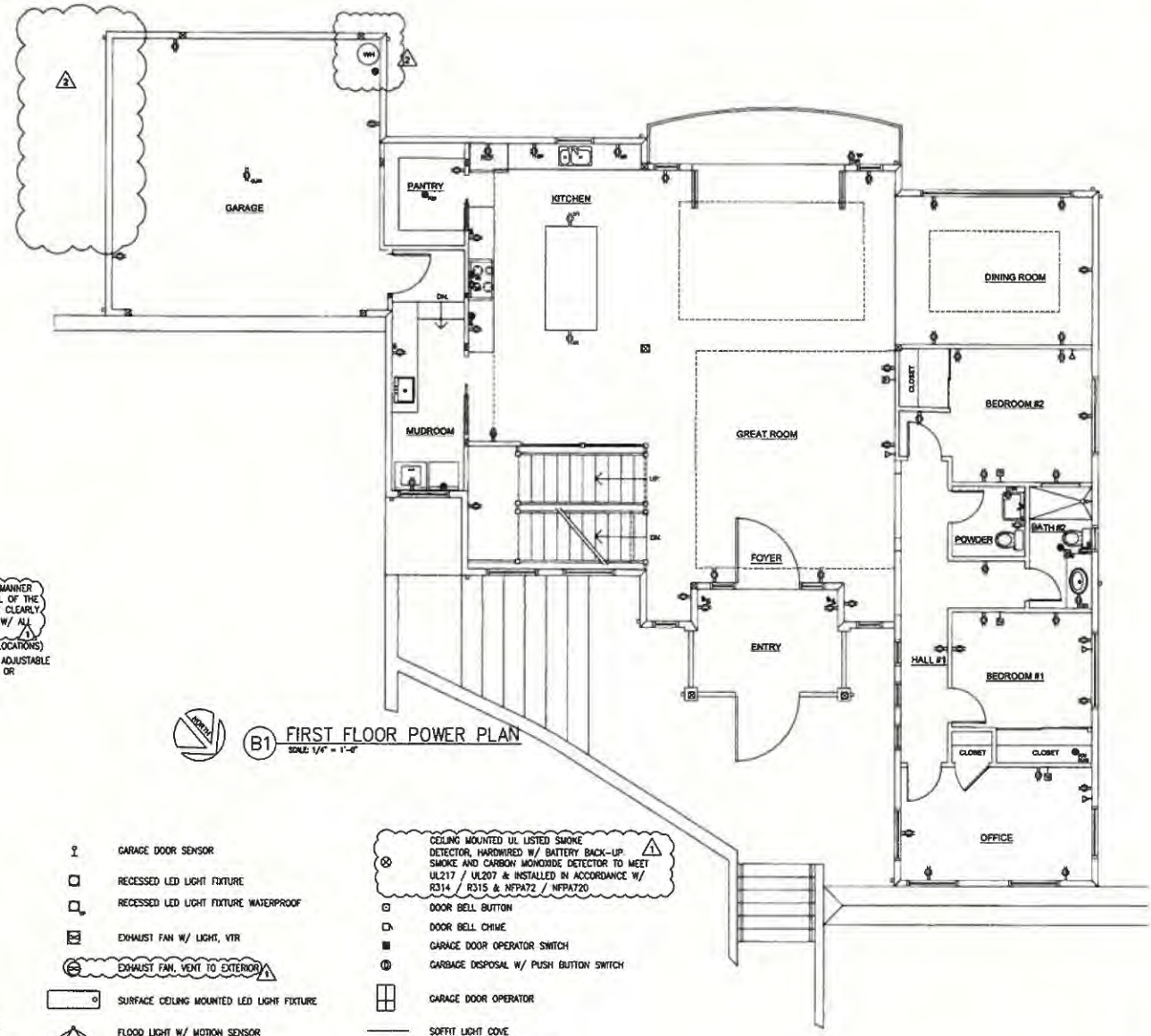


DATE: 03/03/2021  
 SCALE: AS NOTED  
 DRAWN BY:

SHEET NO.:

SHEET TITLE:  
 FIRST FLOOR  
 POWER PLAN

E105  
 20227



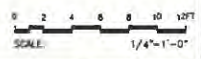
**B1** FIRST FLOOR POWER PLAN  
 SCALE: 1/4" = 1'-0"

**GENERAL ELECTRICAL NOTES**

1. THE ALARM DEVICES SHALL BE INTERCONNECTED IN A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE W/ ALL INTERVENING DOORS CLOSED.
2. ADD ETHERNET CABLES/JACKS NEAR TV CABLES (ALL LOCATIONS).
3. ALL RECESSED LIGHTS ON SLOPING CEILING SHALL BE ADJUSTABLE TO MATCH THE CEILING PITCH, HALO SL6 SERIES TYPE OR APPROVED EQUAL.

**ELECTRICAL LEGEND**

- |  |   |   |
|--|---|---|
| DUPLEX OUTLET (DASHED BELOW/ABOVE)                 | GARAGE DOOR SENSOR                        | CEILING MOUNTED UL LISTED SMOKE DETECTOR, HARDWIRED W/ BATTERY BACK-UP SMOKE AND CARBON MONOXIDE DETECTOR TO MEET UL217 / UL207 & INSTALLED IN ACCORDANCE W/ R314 / R315 & NFPA72 / NFPA720 |
| GROUND FAULT INTERRUPTOR DUPLEX OUTLET             | RECESSED LED LIGHT FIXTURE                | DOOR BELL BUTTON  |
| WATERPROOF DUPLEX OUTLET                           | RECESSED LED LIGHT FIXTURE WATERPROOF     | DOOR BELL CHIME   |
| 220V APPLIANCE OUTLET                              | EXHAUST FAN W/ LIGHT, VTR                 | GARAGE DOOR OPERATOR SWITCH   |
| JUNCTION BOX                                       | EXHAUST FAN, VENT TO EXTERIOR             | GARBAGE DISPOSAL W/ PUSH BUTTON SWITCH  |
| CABLE TV JACK                                      | SURFACE CEILING MOUNTED LED LIGHT FIXTURE | GARAGE DOOR OPERATOR  |
| TELEPHONE JACK                                     | FLOOR LIGHT W/ MOTION SENSOR              | SOFFIT LIGHT COVE   |
| SURFACE CEILING MOUNTED LED LIGHT FIXTURE          | ELECTRICAL PANEL                          | ACU, 208V DIRECT CONNECTION   |
| WALL MOUNTED LED LIGHT FIXTURE                     | SWITCH                                    | FCU, 208V DIRECT CONNECTION   |
| WALL MOUNTED INCANDESCENT LIGHT FIXTURE WATERPROOF | 3 WAY SWITCH                              | AC/FCU IN CEILING, 208V DIRECT CONNECTION   |
| PENDANT LIGHT FIXTURE                              | 4 WAY SWITCH                              | DIRECT WIRE 120V  |
|  | LIGHT W/ SEPARATE FAN SWITCH              |   |



PALEKANA PERMITS  
 THIRD PARTY CERTIFICATION  
 BUILDING CODE  ELECTRICAL CODE  
 MECHANICAL CODE  RESIDENTIAL CODE  
 STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)

CITY AND COUNTY OF HONOLULU  
DEPARTMENT OF PLANNING AND PERMITTING

**APPROVED**

The issuance hereunder of any permit or approval of plans, specifications, and other data shall not be construed to be a guarantee for or approval of the construction or any part thereof or of any other law. The issuance of a permit shall not prevent the building official from determining whether the construction complies with the provisions of any laws, rules and regulations and the Department of Planning and Permitting under Section 15B-1.1 hereof or violation of any of the provisions of the International Building Code.

PERMIT NUMBER: 19-00000  
APPROVED DATE: 06/08/22  
BY: EUGENIA QUINONES

BUILDING REVIEWER  
12/03/2021  
BUILDING REVIEWER  
03/28/2022

MAKEN W. MATHEW  
LICENSED PROFESSIONAL ARCHITECT  
No. 765  
EXP. 10/2023

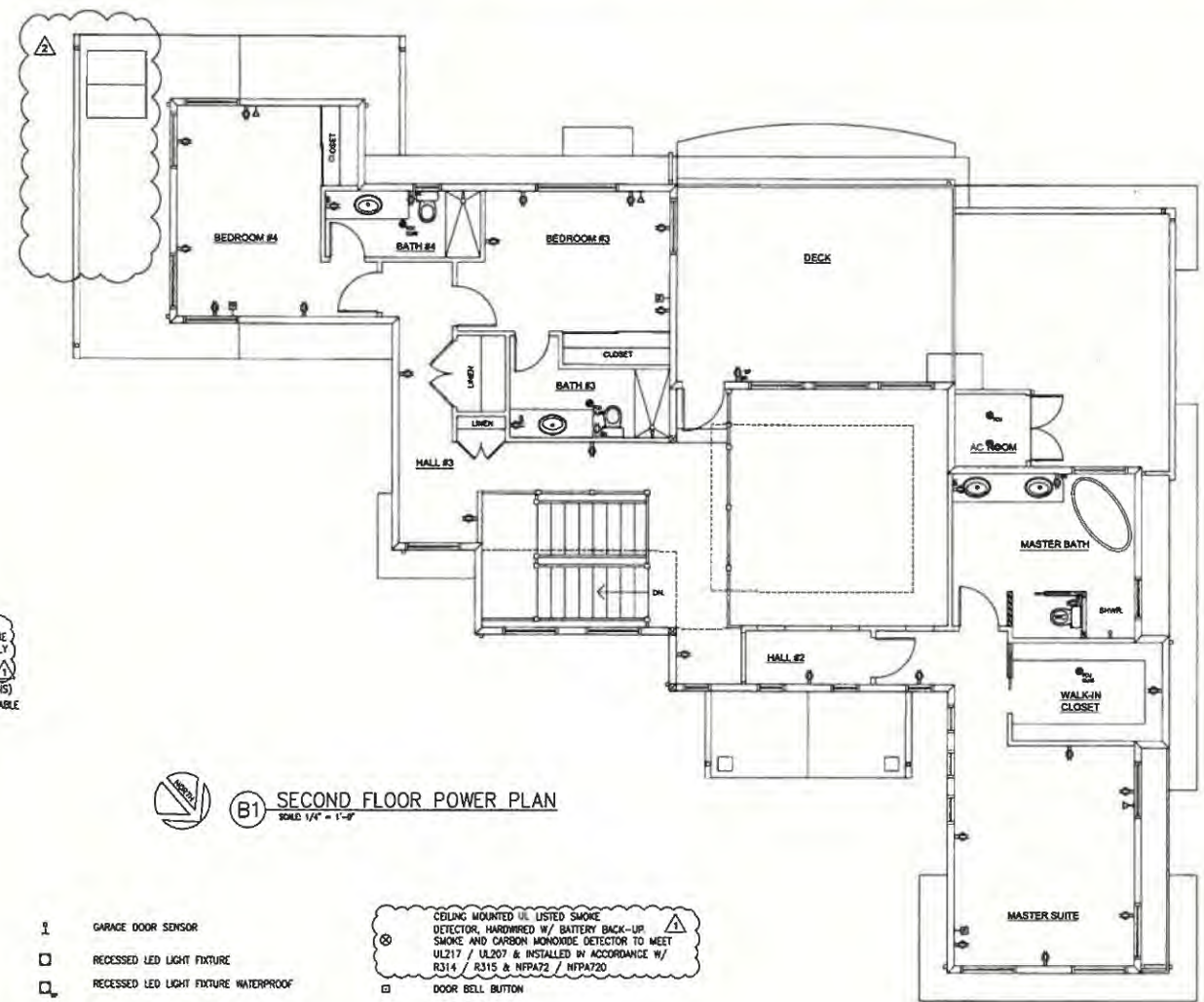
3160 Residence  
New Single Family Dwelling  
3160 Pua Paka, Unit 1,  
Honolulu, Hawaii 96817  
TMK: (1) 2-2-047-007

Architecture • Interior Design  
P.O. Box 5229  
Honolulu, HI 96814  
(808) 235-3879 (808) 235-3858 fax

MSquared Design

DATE: 10/1/2021  
SCALE: AS NOTED  
DRAWN BY:  
JOB NO.:

PROJECT TITLE: SECOND FLOOR POWER PLAN  
E106



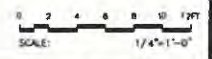
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2. ADD ETHERNET CABLES/JACKS NEAR TV CABLES (ALL LOCATIONS)
3. ALL RECESSED LIGHTS ON SLOPING CEILING SHALL BE ADJUSTABLE TO MATCH THE CEILING PITCH. HALO SL6 SERIES TYPE OR APPROVED EQUAL.

**B1 SECOND FLOOR POWER PLAN**  
SCALE: 1/4" = 1'-0"

**ELECTRICAL LEGEND**

- |  |   |   |
|--|---|---|
| <ul style="list-style-type: none"> <li>⏏ DUPLEX OUTLET (DASHED BELOW/ABOVE)</li> <li>⏏ GROUND FAULT INTERRUPTOR DUPLEX OUTLET</li> <li>⏏ WATERPROOF DUPLEX OUTLET</li> <li>● 220V APPLIANCE OUTLET</li> <li>⊕ JUNCTION BOX</li> <li>⏏ CABLE TV JACK</li> <li>⏏ TELEPHONE JACK</li> <li>⏏ SURFACE CEILING MOUNTED LED LIGHT FIXTURE</li> <li>⏏ WALL MOUNTED LED LIGHT FIXTURE</li> <li>⏏ WALL MOUNTED INCANDESCENT LIGHT FIXTURE WATERPROOF</li> <li>⊙ PENDANT LIGHT FIXTURE</li> </ul> | <ul style="list-style-type: none"> <li>⏏ GARAGE DOOR SENSOR</li> <li>⏏ RECESSED LED LIGHT FIXTURE</li> <li>⏏ RECESSED LED LIGHT FIXTURE WATERPROOF</li> <li>⏏ EXHAUST FAN W/ LIGHT, VTR</li> <li>⏏ EXHAUST FAN VENT TO EXTERIOR</li> <li>⏏ SURFACE CEILING MOUNTED LED LIGHT FIXTURE</li> <li>⏏ FLOOD LIGHT W/ MOTION SENSOR</li> <li>⏏ ELECTRICAL PANEL</li> <li>⏏ SWITCH</li> <li>⏏ 3 WAY SWITCH</li> <li>⏏ 4 WAY SWITCH</li> <li>⏏ LIGHT W/ SEPARATE FAN SWITCH</li> </ul> | <ul style="list-style-type: none"> <li>⏏ CEILING MOUNTED UL LISTED SMOKE DETECTOR, HARDWIRED W/ BATTERY BACK-UP, SMOKE AND CARBON MONOXIDE DETECTOR TO MEET UL217 / UL207 &amp; INSTALLED IN ACCORDANCE W/ R314 / R315 &amp; NFPA72 / NFPA720</li> <li>⏏ DOOR BELL BUTTON</li> <li>⏏ DOOR BELL CHIME</li> <li>⏏ GARAGE DOOR OPERATOR SWITCH</li> <li>⏏ GARBAGE DISPOSAL W/ PUSH BUTTON SWITCH</li> <li>⏏ GARAGE DOOR OPERATOR</li> <li>⏏ SOFFIT LIGHT COVE</li> <li>● ACCU, 208V DIRECT CONNECTION</li> <li>● FCU, 208V DIRECT CONNECTION</li> <li>● AC/FCU IN CEILING, 208V DIRECT CONNECTION</li> <li>● DIRECT WIRE 120V</li> </ul> |
|--|---|---|



PALEKANA PERMITS  
THIRD PARTY CERTIFICATION

BUILDING CODE  ELECTRICAL CODE  
 MECHANICAL CODE  RESIDENTIAL CODE  
 STRUCTURAL (NON-SHOLE/FAMILY DWELLINGS)